



POOL & SPA INSPECTION REPORT

1111 Salvadorean Blvd, Alameda, CA 94501

CLIENT: Beatriz Bonita

AGENT: Raquel Zambrana-Rameriz

INSPECTOR: Nick Vaca

DATE OF INSPECTION: 9/30/2025

TIME OF INSPECTION: 01:00 PM



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2025

We appreciate your time, trust and business.

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Summary Section

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Items of Concern		
Pool		
Page 14 Item: 8	Protective Enclosures	<ul style="list-style-type: none"> • SAFETY: The property does not meet with minimum pool safety requirements, and potential drowning hazards exist. A property with a pool is commonly required to have self-closing gates that open away from the pool area, be a minimum 5 feet in height, and include a latch at fifty-four inches. However, since safety requirements can differ significantly from area to area and as potential hazards have been identified, we strongly recommend that you have the fencing and gating provisions at the property evaluated by an appropriately qualified specialist for further remarks and recommendations. • SAFETY: We recommend you install a separate enclosure around the pool and spa and install alarms at all exterior doors accessing the back yard. This is especially important if children will be visiting or occupying the premises.
Page 16 Item: 9	Door Alarms	<ul style="list-style-type: none"> • SAFETY: For child safety reasons, alarms are required to be installed at all exterior doors accessing the pool area, including garage side doors.
Page 17 Item: 10	Heater	<ul style="list-style-type: none"> • DEFERRED: The pool heater is excessively rusted and will need to be serviced by an appropriately qualified specialist for further remarks and recommendations.

Items of Interest		
Pool		
Page 7 Item: 1	Pool Body	<ul style="list-style-type: none"> • DEFERRED: There are areas of the pool body surfaces that are showing signs of deterioration. You may wish to have the pool body sealed and resurfaced to prevent leakage and continued deterioration of the pool body surfaces. This is typically cosmetic in nature but it is important to note the resealing and tile work can easily exceed \$20,000 in repair costs. You may wish to ask the sellers to guarantee the pool does not leak and/or have the pool leak tested by an appropriately qualified pool specialist before the close of this transaction. This is important because our inspection does not warrant or guarantee the pool against leakage.

Page 8 Item: 2	Tiles	<ul style="list-style-type: none"> • MONITOR: Calcium buildup on pool tiles was observed during the inspection. Outside infiltration can be a significant contributing factor to calcium buildup on pool tiles, especially when it involves the coping tiles. Calcium can leach from the cement and grout that secures the coping tiles. The calcium hydroxide reacts with carbon dioxide in the air to form a white, chalky residue called calcium carbonate.
Page 9 Item: 3	Decking and Coping	<ul style="list-style-type: none"> • DEFERRED: The pool deck is cracked at multiple location. Concerned parties should have the decking evaluated by an appropriately qualified specialist and repaired or replaced. • PREVENTIVE: There are gaps in the expansion joint between the pool deck and the coping stone that should be filled with an appropriate material to help prevent additional cracks. • PREVENTIVE: The caulk in the expansion joint of the pool deck has deteriorated and cracked. This should be resealed to help prevent water intrusion beneath the deck. • CAUTION: Sections of the deck have lifted or settled and represent a potential trip hazard that will need to be corrected for safety.
Page 11 Item: 4	Pool Light	<ul style="list-style-type: none"> • MAINTENANCE: The pool and spa lights did not respond and should be fitted with a new bulb and retested for proper function.
Page 12 Item: 5	Skimmer	<ul style="list-style-type: none"> • PREVENTIVE: The skimmer cover latching system is damaged. Concerned parties may wish having the cover replaced.
Page 17 Item: 10	Heater	<ul style="list-style-type: none"> • DEFERRED: The pool heater pilot was not lit and will need to be evaluated by an appropriately qualified specialist for further remarks and recommendations. • MONITOR: The heater has reached the end of its service life and should be closely monitored and serviced annually.
Page 19 Item: 12	Supply and Return Lines	<ul style="list-style-type: none"> • MAINTENANCE: There is a leak at the supply line and/or the motor pump. The inspector could not identify the exact source of moisture under the system. Minor leakage around these systems can be normal, particularly if the pool has been unused for some time, leading to dried gaskets and connections. Concerned parties may wish to have the system evaluated by a pool specialist for repairs or recommendations.
Page 21 Item: 14	Solar System	<ul style="list-style-type: none"> • DEFERRED: The pool plumbing includes a hydronic solar panel water heating system located on the garage roof. This system was not evaluated as part of our service because it was shut off at the time of inspection, and we cannot assess its integrity without risking roof damage from potential major leaks. Concerned parties should have this system evaluated by a qualified specialist for remarks and recommendations. • MONITOR: Water stains were observed near the hydronic solar system water line coming from the roof. It is advisable to monitor this area for any signs of active leaks and have a qualified professional assess the system to address any potential issues and prevent further water damage.

Inspection Information

1. Attendance

Attendees:

- The Inspector was present at the inspection.

2. Property Type

Property Type:

- The structure is a Single Family Home.

3. Occupancy

Status:

- The Property was Vacant and Staged.

4. Weather Conditions

Conditions:

- The weather at the time of inspection was overcast and cool.

Environmental Comments

1. Pest Control

Exclusions:

- **PEST CONTROL:** Your property inspector is not a pest control inspector and is not trained or appropriately qualified to provide you with any information regarding rodents, pests, and wood destroying insects or organisms, or the possibility of hidden damage or potential health hazards caused by the presence of same. If you have not had the residence evaluated by a pest control inspector, we recommend having this done as soon as possible.

2. Mold

Exclusions:

- **MOLD INSPECTIONS:** Your inspector did not perform a mold inspection of the residence. A mold inspection consists of a visual inspection for mold growth, moisture mapping for hidden leaks, air sampling, surface sampling and laboratory analysis of the samples. Concerned parties may wish to schedule a comprehensive mold and/or air quality testing to ensure the safety of all occupants and visitors. Our main office, located at 925-521-9500, can arrange this service upon request. Proper testing can help identify potential health hazards and guide necessary remediation measures.

3. Pre-1980 Construction

Observations:

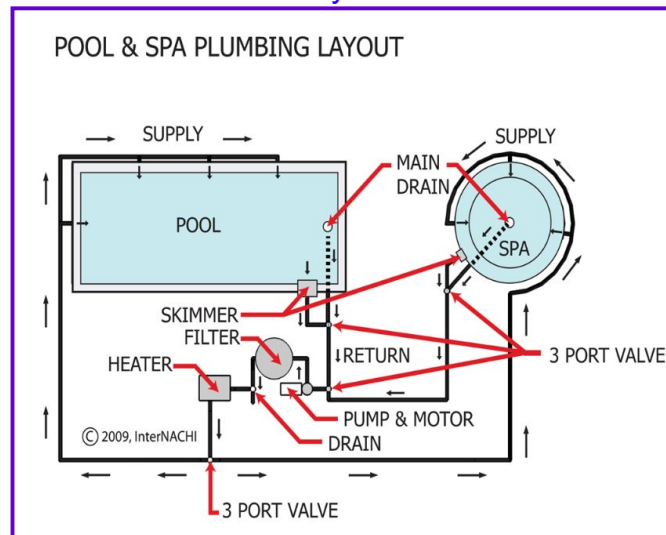
- **ENVIRONMENTAL:** It appears that the property was constructed prior to 1980. It is possible and even highly probable that lead-based paint, asbestos, and other materials considered potentially hazardous may exist. Testing or inspecting for any environmental hazards of any kind falls outside the scope of a property inspection and this report. Concerned parties may wish to employ the services of an appropriately qualified environmental specialist at this time.

Property Comments

1. Inspection Scope

Scope:

• **INSPECTION SCOPE:** A pool inspection involves a comprehensive evaluation of the pool's structural integrity, equipment operation, safety features, and surrounding environment to ensure functionality and compliance with safety and health regulations. Key areas of inspection include the vessel and coping, tile, deck, drains, pump, filter, heater, electrical systems, and safety barriers such as fences and gates. The goal is to identify potential issues, assess the overall condition, and provide a detailed report for homeowners and buyers.



INSPECTION SCOPE: A pool inspection involves a comprehensive evaluation of the pool's structural integrity, equipment operation, safety features, and surrounding environment to ensure functionality and compliance with safety and health regulations.

Pool

1. Pool Body

Observations:

- **COMMENTS:** The pool appeared to be reasonably level, as was evident from the water line on the tiles.
- **DEFERRED:** There are areas of the pool body surfaces that are showing signs of deterioration. You may wish to have the pool body sealed and resurfaced to prevent leakage and continued deterioration of the pool body surfaces. **This is typically cosmetic in nature but it is important to note the resealing and tile work can easily exceed \$20,000 in repair costs.** You may wish to ask the sellers to guarantee the pool does not leak and/or have the pool leak tested by an appropriately qualified pool specialist before the close of this transaction. This is important because our inspection does not warrant or guarantee the pool against leakage.



COMMENTS: The pool appeared to be reasonably level, as was evident from the water line on the tiles.



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COMMENTS: The pool appeared to be reasonably level, as was evident from the water line on the tiles.

Pool (continued)



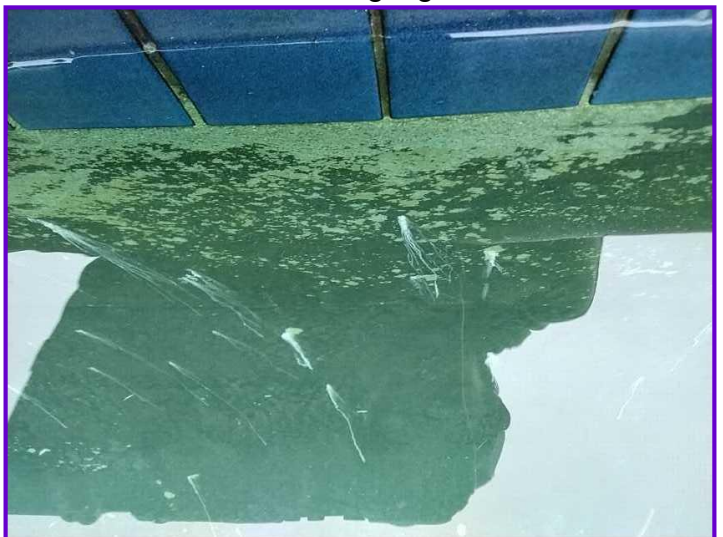
DEFERRED: There are areas of the pool body surfaces that are showing signs of deterioration.



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2. Tiles

Observations:

- **COMMENTS:** The pool and spa tiles at the water line appear functional.
- **MONITOR:** Calcium buildup on pool tiles was observed during the inspection. Outside infiltration can be a significant contributing factor to calcium buildup on pool tiles, especially when it involves the coping tiles. Calcium can leach from the cement and grout that secures the coping tiles. The calcium hydroxide reacts with carbon dioxide in the air to form a white, chalky residue called calcium carbonate.

Pool (continued)



COMMENTS: The pool and spa tiles at the water line appear functional.



COMMENTS: The pool and spa tiles at the water line appear functional.



MONITOR: Calcium buildup on pool tiles was observed during the inspection.

3. Decking and Coping

Observations:

- COMMENTS: The majority of the decking and coping appeared functional at the time of the inspection.
- DEFERRED: The pool deck is cracked at multiple location. Concerned parties should have the decking evaluated by an appropriately qualified specialist and repaired or replaced.
- PREVENTIVE: There are gaps in the expansion joint between the pool deck and the coping stone that should be filled with an appropriate material to help prevent additional cracks.
- PREVENTIVE: The caulk in the expansion joint of the pool deck has deteriorated and cracked. This should be resealed to help prevent water intrusion beneath the deck.
- CAUTION: Sections of the deck have lifted or settled and represent a potential trip hazard that will need to be corrected for safety.

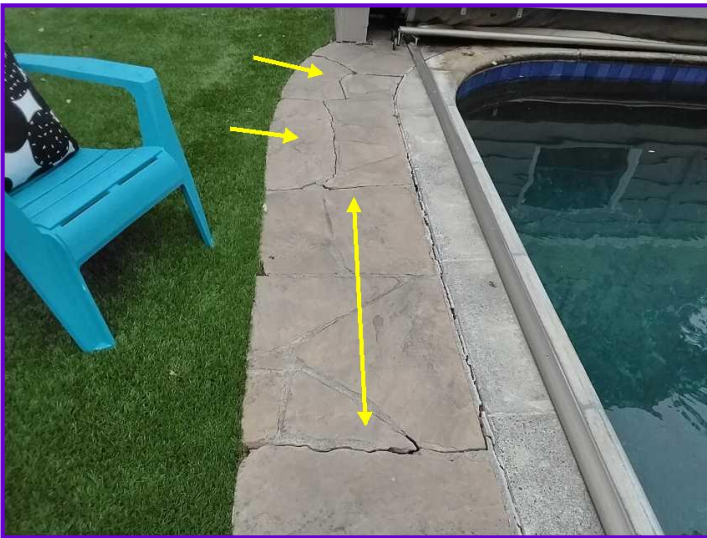
Pool (continued)



COMMENTS: The majority of the decking and coping appeared functional at the time of the inspection.



COMMENTS: The majority of the decking and coping appeared functional at the time of the inspection.



DEFERRED: The pool deck is cracked at multiple location.



DEFERRED: The pool deck is cracked at multiple location.

Pool (continued)



PREVENTIVE: The caulk in the expansion joint of the pool deck has deteriorated and cracked.

PREVENTIVE: The caulk in the expansion joint of the pool deck has deteriorated and cracked.



PREVENTIVE: The caulk in the expansion joint of the pool deck has deteriorated and cracked.

CAUTION: Sections of the deck have lifted or settled and represent a potential trip hazard.

4. Pool Light

Observations:

- **COMMENTS:** The pool light circuit appears to GFCI protected as required for safety.
- **MAINTENANCE:** The pool and spa lights did not respond and should be fitted with a new bulb and retested for proper function.

Pool (continued)



COMMENTS: The pool light circuit appears to GFCI protected as required for safety.



MAINTENANCE: The pool and spa lights did not respond.

5. Skimmer

Observations:

- COMMENTS: The skimmers and covers are functional.
- PREVENTIVE: The skimmer cover latching system is damaged. Concerned parties may wish having the cover replaced.



COMMENTS: The skimmers and covers are functional.

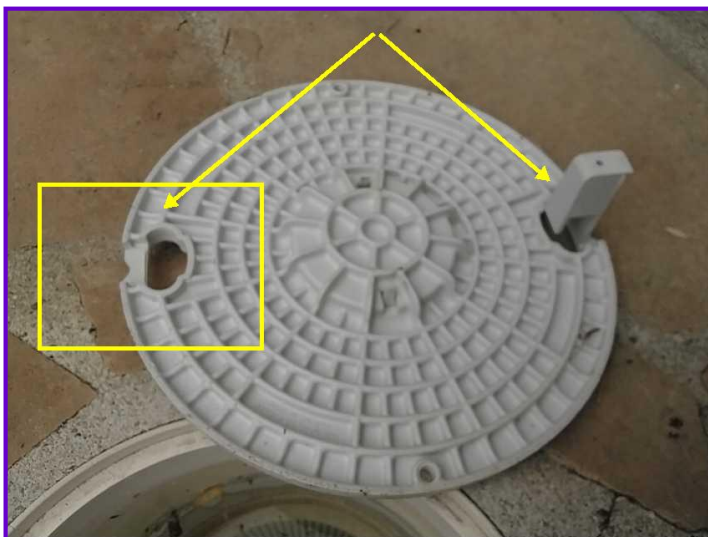


COMMENTS: The skimmers and covers are functional.

Pool (continued)



COMMENTS: The skimmers and covers are functional.



PREVENTIVE: The skimmer cover latching system is damaged. Concerned parties may wish having the cover replaced.

6. Drain Covers

Observations:

- COMMENTS: The drain covers are functional and the proper anti-suction safety type.



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7. Filter

Observations:

- COMMENTS: The pressure gauge at the pool filter appears functional.
- COMMENTS: The casing and filter system appears functional. The filters should be cleaned/replaced on a regular basis for optimal performance.
- COMMENTS: The water circulating outlets appear functional. Water is sent through these outlets to circulate the water. This helps remove sediment which improves the filtering process.

Pool (continued)



COMMENTS: The casing and filter system appears functional.



COMMENTS: The pressure gauge at the pool filter appears functional.



COMMENTS: The water circulating outlets appear functional.

8. Protective Enclosures

Observations:

- **SAFETY:** The property does not meet with minimum pool safety requirements, and potential drowning hazards exist. A property with a pool is commonly required to have self-closing gates that open away from the pool area, be a minimum 5 feet in height, and include a latch at fifty-four inches. However, since safety requirements can differ significantly from area to area and as potential hazards have been identified, we strongly recommend that you have the fencing and gating provisions at the property evaluated by an appropriately qualified specialist for further remarks and recommendations.
- **SAFETY:** We recommend you install a separate enclosure around the pool and spa and install alarms at all exterior doors accessing the back yard. This is especially important if children will be visiting or occupying the premises.

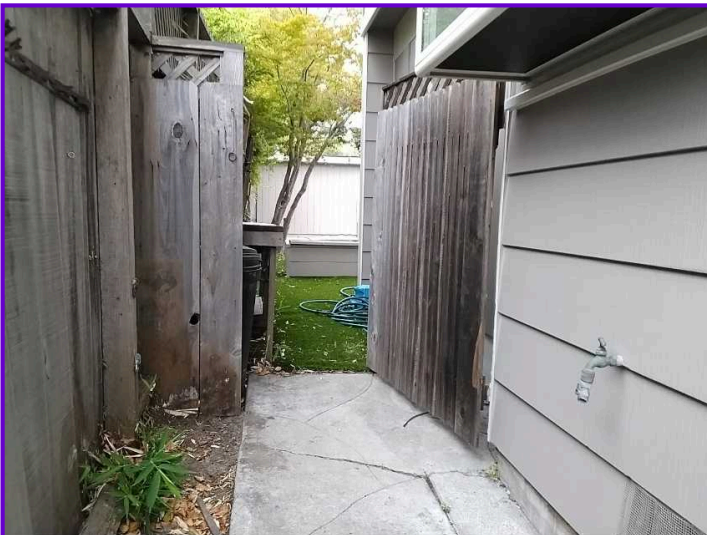
Pool (continued)



SAFETY: The property does not meet with minimum pool safety requirements.



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SAFETY: The property does not meet with minimum pool safety requirements.

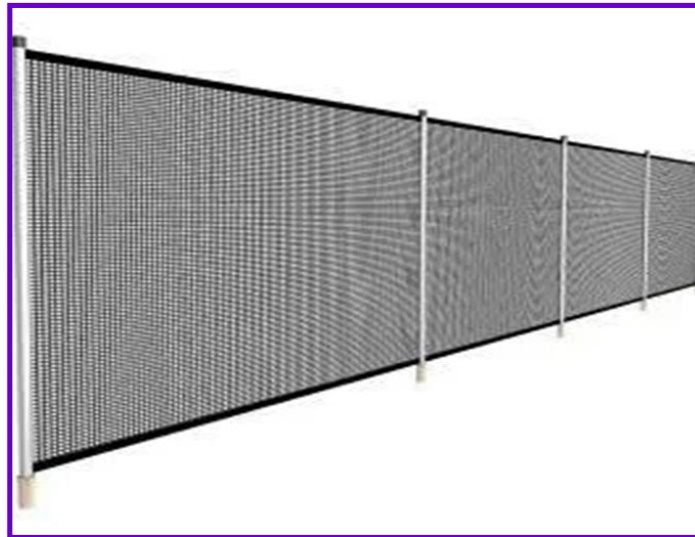
Pool (continued)



SAFETY: We recommend you install a separate enclosure around the pool.



SAFETY: We recommend you install a separate enclosure around the pool.



SAFETY: We recommend you install a separate enclosure around the pool and spa.

9. Door Alarms

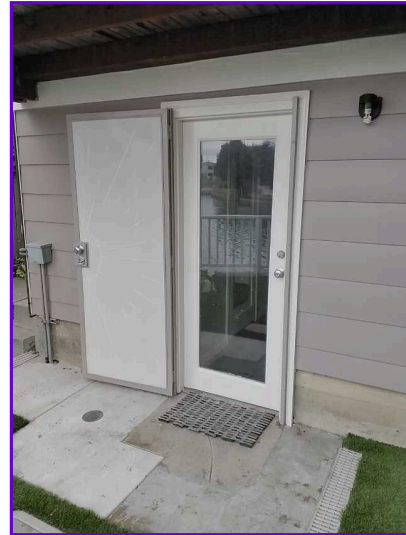
Observations:

- **SAFETY:** For child safety reasons, alarms are required to be installed at all exterior doors accessing the pool area, including garage side doors.

Pool (continued)



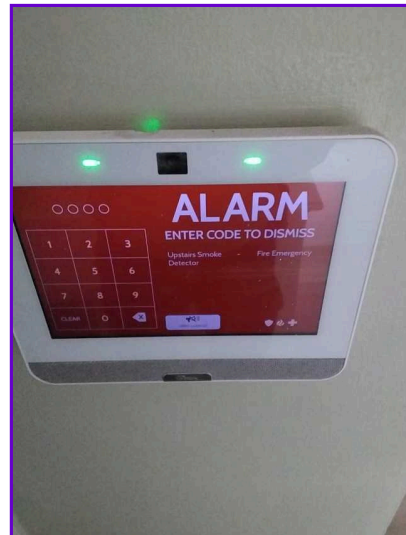
SAFETY: For child safety reasons, alarms are required to be installed at all exterior doors.



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10. Heater

Observations:

- **COMMENTS:** There is a 39-year-old heater located in the garage.
- **DEFERRED:** The pool heater is excessively rusted and will need to be serviced by an appropriately qualified specialist for further remarks and recommendations.
- **DEFERRED:** The pool heater pilot was not lit and will need to be evaluated by an appropriately qualified specialist for further remarks and recommendations.
- **MONITOR:** The heater has reached the end of its service life and should be closely monitored and serviced annually.

Pool (continued)



COMMENTS: There is a 39-years old heater located in the garage.

MONITOR: The heater has reached the end of its service life and should be closely monitored and serviced annually.



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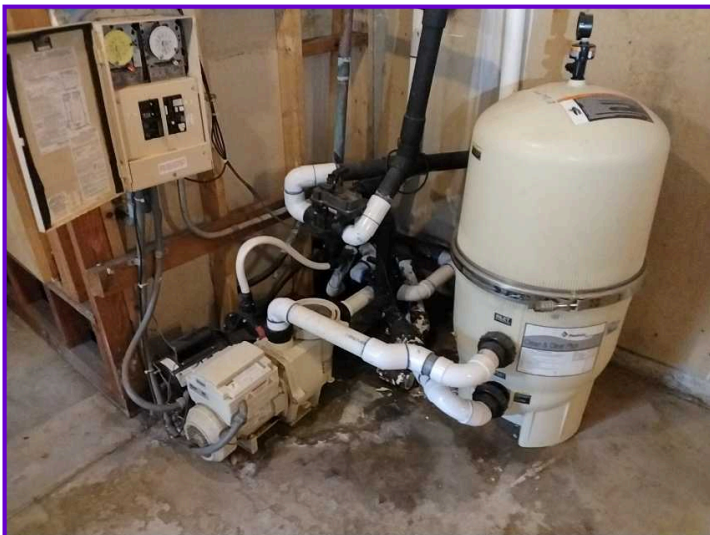
MONITOR: The heater has reached the end of its service life and should be closely monitored and serviced annually.

11. Pool Motor

Observations:

- COMMENTS: The pool motors were operational and properly bonded for safety.

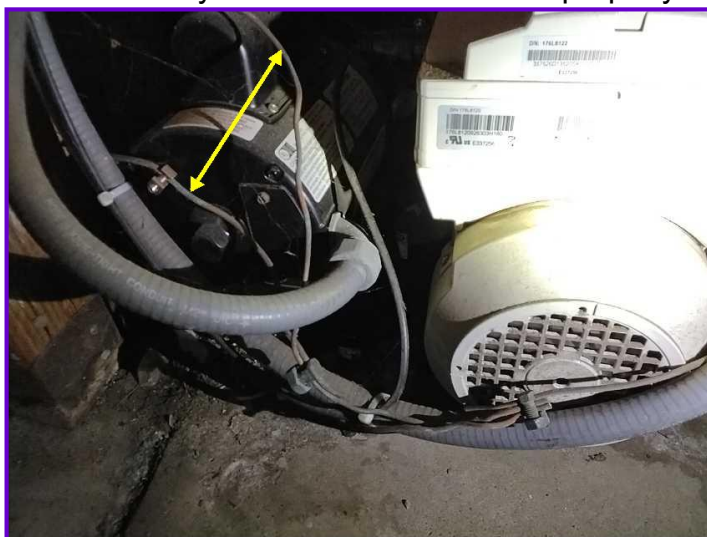
Pool (continued)



COMMENTS: The pool motors were operational and properly bonded for safety.



COMMENTS: The pool motors were operational and properly bonded for safety.



COMMENTS: The pool motors were operational and properly bonded for safety.

12. Supply and Return Lines

Observations:

- **COMMENTS:** The visible pool plumbing lines and valves appeared to be functional.
- **MAINTENANCE:** There is a leak at the supply line and/or the motor pump. The inspector could not identify the exact source of moisture under the system. Minor leakage around these systems can be normal, particularly if the pool has been unused for some time, leading to dried gaskets and connections. Concerned parties may wish to have the system evaluated by a pool specialist for repairs or recommendations.

Pool (continued)



COMMENTS: The visible pool plumbing lines and valves appeared to be functional.

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MAINTENANCE: There is a minor leak at the supply line and/or the motor pump.

13. Pool Cover

Observations:

- COMMENTS: The electric pool cover responded to normal user controls.

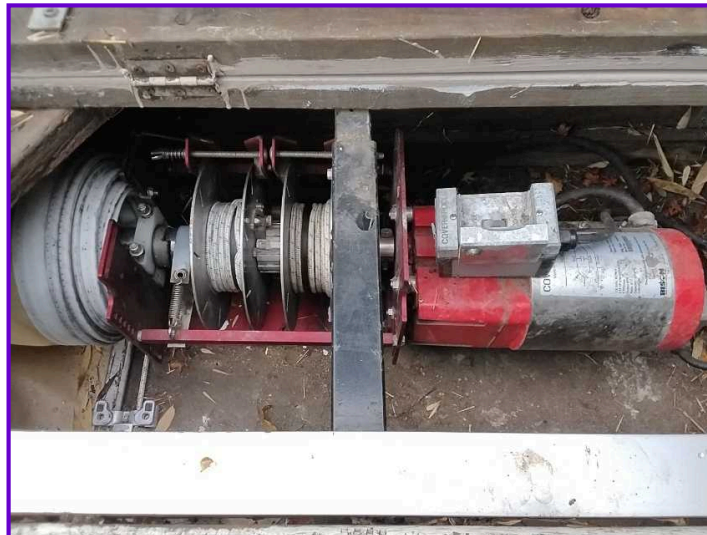
Pool (continued)



COMMENTS: The electric pool cover responded to normal user controls.



COMMENTS: The electric pool cover responded to normal user controls.



COMMENTS: The electric pool cover responded to normal user controls.

14. Solar System

Observations:

- **DEFERRED:** The pool plumbing includes a hydronic solar panel water heating system located on the garage roof. This system was not evaluated as part of our service because it was shut off at the time of inspection, and we cannot assess its integrity without risking roof damage from potential major leaks. Concerned parties should have this system evaluated by a qualified specialist for remarks and recommendations.
- **MONITOR:** Water stains were observed near the hydronic solar system water line coming from the roof. It is advisable to monitor this area for any signs of active leaks and have a qualified professional assess the system to address any potential issues and prevent further water damage.

Pool (continued)



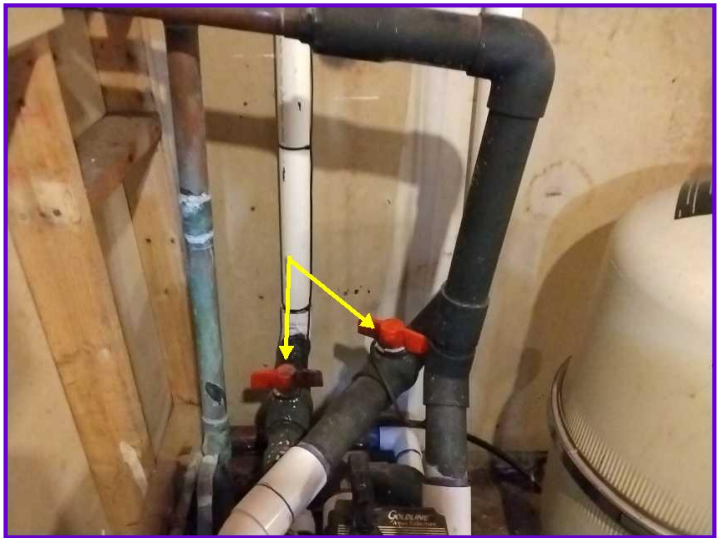
DEFERRED: The pool plumbing includes a hydronic solar panel water heating system located on the garage roof.



DEFERRED: The pool plumbing includes a hydronic solar panel water heating system located on the garage roof.



DEFERRED: The hydronic solar panel water heating system was not evaluated as part of our service.



DEFERRED: This system was not evaluated as part of our service because it was shut off at the time of inspection.

Pool (continued)



MONITOR: Water stains were observed near the hydronic solar system water line coming from the roof.



MONITOR: Water stains were observed near the hydronic solar system water line coming from the roof.

Pool & Spa Inspection Scope

This report is intended solely for the benefit of the named client and reflects observations made at the time of the inspection. If you did not engage the inspector directly, relying on this report may result in receiving incomplete or outdated information. Additional evaluations, repairs, or inspection reports may impact the interpretation of this report. We recommend consulting a qualified inspector to meet your specific needs and to obtain up-to-date information about the property.

The purpose of this inspection is to identify material defects in a residential pool or spa system through a non-invasive, visual examination of accessible and visible areas. The inspection is limited to the conditions observed at the time and location of the inspection. This report does not guarantee future performance or condition of any component.

This inspection was conducted in accordance with InterNACHI® Pool and Spa Inspection Standards of Practice. Only components and systems that were both visible and readily accessible were inspected. The inspector is not required to enter the pool or spa, test water chemistry, operate winterized systems, or inspect hidden or underground components. Inspectors are not obligated to move personal items or obstructions.

The client will receive a written report outlining observed and deemed material defects, along with optional comments and recommendations. The inspection does not determine code compliance, safety adequacy, or the suitability of the pool or spa for any particular use. It is not a technically exhaustive evaluation, nor does it include cost estimates, aesthetic concerns, or the evaluation of mold, pests, or environmental hazards.

This report is for the client's use only and does not fulfill any legal disclosure obligations. The inspection company is not responsible for third-party use of the report or for any conditions that are concealed, inaccessible, or arise after the inspection date.

Liability is limited. Neither the inspector nor the inspection company guarantees or warrants the findings. The client agrees to hold the inspection company harmless for any claims, damages, or losses arising from the inspection. Any legal action must be filed within one year of the inspection date and must be brought in the County where the inspection company maintains its principal place of business. If the inspection company prevails in any dispute, the client agrees to pay all legal fees and costs.

If any part of this agreement is deemed invalid, all remaining provisions shall remain in effect. This document constitutes the entire agreement between the parties and supersedes any prior discussions, representations, or promises. The inspector's and inspection company's total liability is limited to the inspection fee paid, and they are not responsible for any incidental, consequential, or punitive damages arising from this inspection or report.