



# ROOF INSPECTION REPORT

**805 Eastbrook Court, Danville, CA**

CLIENT: Asante Realty

AGENT: Raquel Zambrana-Rameriz

INSPECTOR: Nick Vaca

DATE OF INSPECTION: 1/1/2025

TIME OF INSPECTION: 09:00 AM



# 2025

[www.VistaBayRoofing.com](http://www.VistaBayRoofing.com)

We appreciate your time, trust and business.

# Table Of Contents

|                        |      |
|------------------------|------|
| Summary Section        | 2    |
| Inspection Information | 3    |
| Property Comments      | 4    |
| Primary Roof           | 5-12 |
| Structure & Framing    | 13   |

# Summary Section

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

| Items of Interest |               |  |
|-------------------|---------------|--|
| Primary Roof      |               |  |
| Page 8 Item: 4    | Flashings     | <ul style="list-style-type: none"><li>• <b>MONITOR:</b> There are two chimneys that are over 30 inches wide and do not have diverter flashings to help prevent water from pooling at the roof area directly behind them. This area is a common point for damming and leakage. Concerned parties may wish to monitor this area regularly and keep clear of debris.</li></ul>  |
| Page 10 Item: 7   | Roof Drainage | <ul style="list-style-type: none"><li>• <b>PREVENTIVE:</b> Regular cleaning and maintenance of the roof are essential to prevent damage to the roof covering, avoid potential moisture intrusion, and ensure optimal drainage.</li><li>• <b>MAINTENANCE:</b> The roof gutters need to be cleaned, sealed and serviced to perform properly.</li><li>• <b>PREVENTIVE:</b> The roof needs any foliage trimmed away and maintained to prevent damage to the roof covering and to facilitate proper drainage.</li></ul> |

# Inspection Information

## 1. Attendance

Attendees:

- The Inspector was present at the inspection.
- No other parties were present at the inspection.

## 2. Property Type

Property Type:

- The structure is a Single Family Home.

## 3. Weather Conditions

Conditions:

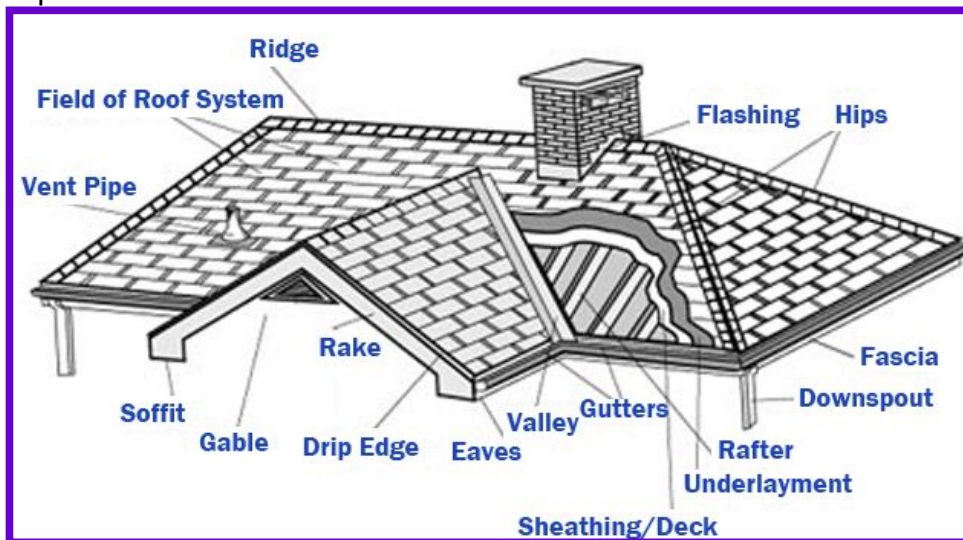
- The weather at the time of inspection was sunny and warm.

# Property Comments

## 1. Inspection Scope

Scope:

• **INFORMATION:** The roof is a critical component of the home and requires regular inspections and maintenance to ensure its integrity. The findings detailed in this report have been prepared by a licensed roofing contractor with expertise in roofing inspections and evaluations. The inspector will deliver a thorough assessment of your roofing system and its associated components. Being well-informed and proactive is crucial for minimizing future repair expenses and extending the lifespan of the roofing system. Our evaluation will pinpoint potential problem areas, thereby reducing the risk of damage to the existing roof system. Timely identification of necessary preventive maintenance and current issues can alleviate the stress, inconvenience, and costs associated with emergency repairs that may arise from adverse weather conditions. Please note that while the components of the roof drainage system are inspected and assessed, they are not filled or tested as part of this evaluation.



**INFORMATION:** The roof is a critical component of the home and requires regular inspections and maintenance to ensure its integrity.

# Primary Roof

## 1. General Comments

### Observations:

• **COMMENTS:** The residence features a sloped or pitched roof, typically covered with overlapping individual shingles or tiles designed to prevent water penetration. The pitch of the roof plays a significant role in determining the lifespan of the roofing material. Additionally, the longevity of the roof covering is influenced by various factors, including the type of material utilized, the quality of the installation, exposure to sunlight, and the wear caused by tree branches, snow, ice, and wind. Asphalt shingles are the most commonly used material for sloped roofs; however, other roofing options include asphalt roll roofing, concrete or clay tiles, wood shakes and shingles, as well as slate shingles. Alternative materials such as fiberglass shingles, metal shingles, and metal sheet roofing systems are also available for sloped roofs.



**COMMENTS:** The residence features a sloped or pitched roof.



**COMMENTS:** The residence features a sloped or pitched roof.

## 2. Roof Access

### Observations:

• **COMMENTS:** The roof covering was inspected from various angles using an inspection drone, a ladder, and the zoom feature on the inspector's cameras to ensure a comprehensive evaluation.

## 3. Composite Tile

### Observations:

• **CONGRATULATIONS!** - We are pleased to inform you that this roofing system qualifies for our **Platinum Roof Protection Program**. This inspection includes a worry-free warranty and a 5-year certification, ensuring peace of mind and long-term roof integrity. Please contact our office or visit our website at [Warranty Page](#) for additional information.

• **COMMENTS:** The composite tile roofing material appears to be in satisfactory condition relative to its age. **This type of normally comes with a 50-year or lifetime warranty. With normal cleaning and regular maintenance the roof could remain leak free for 20 or more years.**

• **COMMENTS:** There may be the occasional cracked or chipped tiles, but none that would appear to warrant replacement of the tiles. This is common on tile roofs and is normally not a concern.

## Primary Roof (continued)



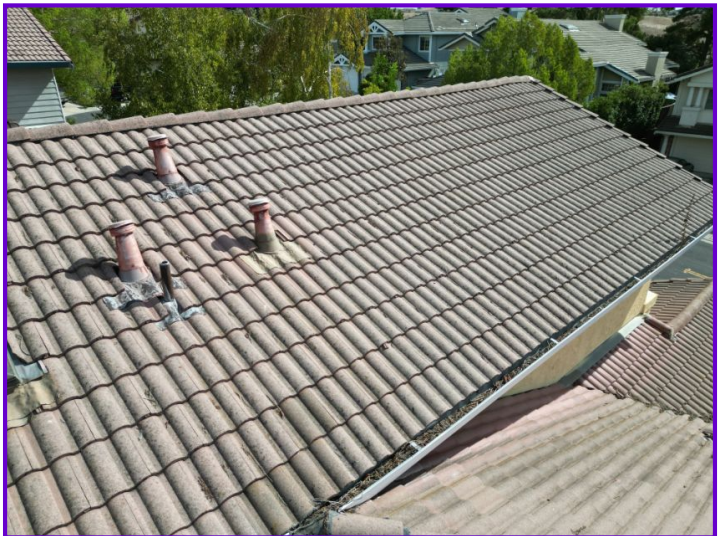
COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.

## Primary Roof (continued)



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.



COMMENTS: The composite tile roofing material appears to be in satisfactory condition relative to its age.

# Primary Roof (continued)



COMMENTS: There may be the occasional cracked or chipped tiles, but none that would appear to warrant replacement of the tiles.



PLATINUM  
5-YEAR  
ROOF PROTECTION PLAN





**IF YOUR ROOF LEAKS,  
WE'VE GOT YOU COVERED...  
FOR THE NEXT FIVE YEARS!**



**CONGRATULATIONS! - We are pleased to inform you that this roofing system qualifies for our Platinum Roof Protection Program.**

## 4. Flashings

Observations:

- **COMMENTS:** The visible roof flashing appears to be in satisfactory condition. Flashing is an impervious material (usually galvanized sheet metal) that comes in a variety of shapes and sizes and is used to cover, waterproof, and direct water away from roof penetrations and from intersections between the roof covering and other materials.

- **MONITOR:** There are two chimneys that are over 30 inches wide and do not have diverter flashings to help prevent water from pooling at the roof area directly behind them. This area is a common point for damming and leakage. Concerned parties may wish to monitor this area regularly and keep clear of debris.



**MONITOR:** There are two chimneys that are over 30 inches wide and do not have diverter flashings.

**MONITOR:** There are two chimneys that are over 30 inches wide and do not have diverter flashings.

## Primary Roof (continued)



MONITOR: There are two chimneys that are over 30 inches wide and do not have diverter flashings.

### 5. Protrusions

#### Observations:

- COMMENTS: The plumbing vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.
- COMMENTS: The exhaust vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.



COMMENTS: The plumbing vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.



COMMENTS: The exhaust vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.

## Primary Roof (continued)



COMMENTS: The plumbing vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.



COMMENTS: The exhaust vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.

### 6. Skylights

Observations:

- COMMENTS: The roof includes skylights which appeared to be in satisfactory condition. Skylights are easily cracked and you should monitor them regularly for evidence of leakage. The skylights appear functional with no visible evidence of leakage at this time.



COMMENTS: The roof includes skylights which appeared to be in satisfactory condition.



COMMENTS: The roof includes skylights which appeared to be in satisfactory condition.

### 7. Roof Drainage

Observations:

- PREVENTIVE: Regular cleaning and maintenance of the roof are essential to prevent damage to the roof covering, avoid potential moisture intrusion, and ensure optimal drainage.
- MAINTENANCE: The roof gutters need to be cleaned, sealed and serviced to perform properly.
- PREVENTIVE: The roof needs any foliage trimmed away and maintained to prevent damage to the roof covering and to facilitate proper drainage.

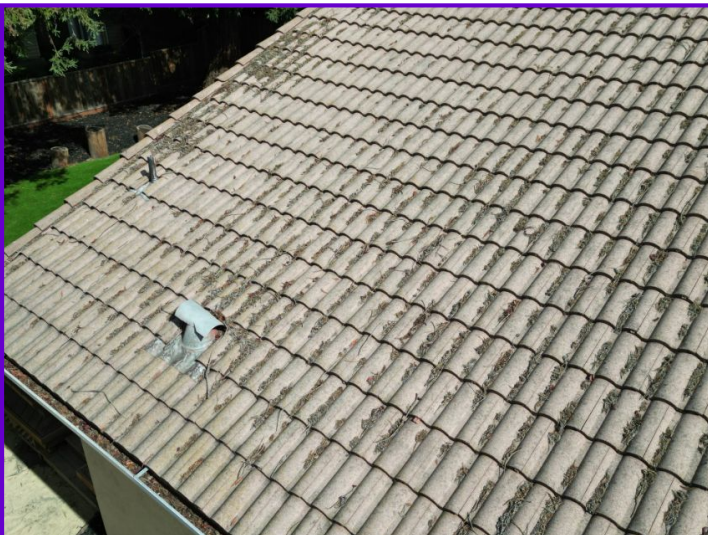
# Primary Roof (continued)



PREVENTIVE: Regular cleaning and maintenance of the roof are essential.



PREVENTIVE: Regular cleaning and maintenance of the roof are essential.



PREVENTIVE: Regular cleaning and maintenance of the roof are essential.



PREVENTIVE: Regular cleaning and maintenance of the roof are essential.

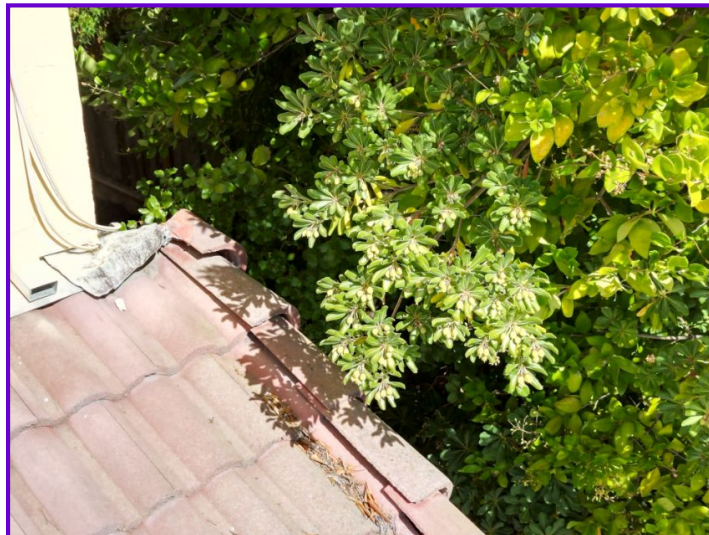
## Primary Roof (continued)



**MAINTENANCE:** The roof gutters need to be cleaned, sealed and serviced to perform properly.



**MAINTENANCE:** The roof gutters need to be cleaned, sealed and serviced to perform properly.



**PREVENTIVE:** The roof needs any foliage trimmed away and maintained to prevent damage to the roof covering and to facilitate proper drainage.

# Structure & Framing

We inspect the roof and ceiling structure components when accessible, ensuring that all visible areas are thoroughly examined for any signs of damage or wear. This examination helps to assess the overall integrity and condition of the roof and ceiling structural components.

## 1. Roof Structure

### Observations:

- COMMENTS: The roof structure appeared functional.
- COMMENTS: The ceiling and roof structure are conventionally framed with dimensional lumber.



COMMENTS: The roof structure appeared functional.

## Inspection Scope - Please Read Carefully

This roof inspection report may include an inspection agreement, addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information upon receipt. This inspection has been performed, and this report prepared, in accordance with State-recognized standards for inspections. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected.

The inspector is not required to move foliage, debris, solar panels or other items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply a guarantee, insurability or warrantability of the roof or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards. In this report, the inspector will note which systems and components were inspected, and report any deficiencies, safety concerns, maintenance and monitoring requirements, and any items that are deferred.

This roof inspection is not an exhaustive inspection of the structure, systems, or components. The inspection may not reveal all deficiencies. A roof inspection helps to reduce some of the risks involved in purchasing a home, but it cannot eliminate all the risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

Items identified in the report do not obligate any party to make repairs or take other action, nor is the purchaser required to request that the seller take any action. When a deficiency, safety concern, maintenance or monitoring requirement, or deferred item is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradespersons may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made but may choose to do so for an additional fee.

Property conditions can and do change with time and use. Appliances and mechanical devices can fail at any time, plumbing gaskets and seals may crack and leak if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid.

This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a qualified inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

The inspector and inspection company have no liability or responsibility for items documented or omitted from this report.

By accepting this report you agree to the scope, limitations and terms of our inspection.