



PROPERTY INSPECTION REPORT

805 Eastbrook Court, Danville, CA 94506

CLIENT: Asante Realty

AGENT: Kellie Langewisch

INSPECTOR: Nick Vaca

DATE OF INSPECTION: 1/1/2025

TIME OF INSPECTION: 09:00 AM



A TincherCorp Family Business

2025

We appreciate your time, trust and business.

Table Of Contents

Summary Section	4-7
Inspection Information	8
Environmental Comments	9
Property Comments	10
Site Features	11-14
Grading and Drainage	15-16
Hardscaping	17-18
Building Features	19-24
Structure & Framing	25-26
Raised Foundation	27-28
Underfloor Areas	29-31
Primary Roof	32-33
Attic	34-35
Electrical Service	36
Main Panel	37-39
Sub Panel	40-42
Wiring	43
Lights and Switches	44-45
Receptacle Outlets	46
GFCI Protection	47
AFCI Protection	48
Electric Vehicle Charger	49

Water Supply System	50-52
Gas Supply System	53-54
Drainage and Venting System	55-56
Plumbing Fixtures	57-60
Water Heater	61-66
Forced Air Furnace	67-70
Split System	71
Masonry Fireplace	72-76
Gas Appliance Fireplace	77
Floors	78
Walls and Ceilings	79
Windows	80
Doors	81-82
Stairs and Landings	83-84
Cabinet and Pantry	85
Counters and Islands	86
Built-In Appliances	87-89
Laundry Provisions	90-92
Smoke Alarms	93
Carbon Monoxide Detectors	94
Ventilation and Exhaust	95-96
Additional Components	97
Vehicle Doors	98-99
Garage Interior	100-101

Garage Foundation

102

Glossary

103

Summary Section

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Items of Concern		
Receptacle Outlets		
Page 46 Item: 1	Exterior Outlets	• SAFETY: There is an outlet at the exterior of the residence that need to be fitted with waterproof cover.
Garage Interior		
Page 100 Item: 1	Fire Door	• SAFETY: The entry door from the garage into the house appears to be fire rated but is not self-closing and latching as needed to maintain the necessary firewall separation between the garage and living quarters. This condition poses a potential fire safety hazard and needs to be corrected (easily remedied).

Items of Interest		
Environmental Comments		
Page 9 Item: 1	Pest Control	• PEST CONTROL: You will receive a separate report detailing any evidence of wood destroying organisms or conditions that may lead to possible concerns from our termite inspection affiliate. Your home inspector is not a pest control inspector and is not trained or appropriately qualified to provide you with any information regarding rodents, pests, and wood destroying insects or organisms, or the possibility of hidden damage and potential health hazards caused by the presence of the same.
Page 9 Item: 2	Mold	• MOLD INSPECTIONS: Your home inspector did not perform a mold inspection of the residence. A mold inspection consists of a visual inspection for mold growth, moisture mapping for hidden leaks, air sampling, surface sampling and laboratory analysis of the samples. If you have concerns about mold or other fungal growth, please contact our office to schedule a mold inspection and sampling appointment.
Site Features		
Page 11 Item: 1	Vegetation	• VEGETATION: There are trees and/or vegetation on or adjacent to the property. Evaluation of trees and vegetation falls outside the scope of a home inspection. Concerned parties may wish to have the trees and/or other vegetation examined by an appropriate specialist. An arborist is normally considered best qualified.

Page 12 Item: 3	Railings	<ul style="list-style-type: none"> • CAUTION: Handrails were not provided for the stairs at front of the property. Standards require stairs with three or more risers have handrails that are grippable, a minimum of thirty-four inches high and with vertical pickets no more than four inches apart.
Page 13 Item: 5	Property Walls	<ul style="list-style-type: none"> • DEFERRED: Evaluation of yard and retaining wall strength, adequacy, and drainage falls outside the scope of a home inspection. Such evaluation would require the services of an engineer. Our evaluation is limited to reporting significant defects that are visible and apparent at the time of the inspection. Concerned parties may wish to have them further evaluated by a qualified professional. • MONITOR: The retaining wall at the side of the property has questionable or unknown structural value as a retaining wall in that it is not engineered as would normally be required for a wall over four feet high and will therefore need to be periodically monitored for movement/failure. These types of walls are far more prone to failure than walls that are engineered, and we cannot endorse them.
Page 14 Item: 6	Watering System	<ul style="list-style-type: none"> • DEFERRED: The property is equipped with an automated watering system. It is crucial to ensure that the sprinklers do not direct water towards the residence or create pooling around the base of the home. Excess moisture can lead to damage to the foundation and exterior surfaces. Please note that the inspection of sprinklers or any ground watering systems falls outside the scope of a standard home inspection.
Building Features		
Page 23 Item: 9	Railings	<ul style="list-style-type: none"> • CAUTION: Handrails were not provided for the stairs at the residence. Standards require stairs with three or more risers have handrails that are grippable, a minimum of thirty-four inches high and with vertical pickets no more than four inches apart.
Underfloor Areas		
Page 30 Item: 4	Insulation	<ul style="list-style-type: none"> • PREVENTIVE: There was no insulation visible in the underfloor areas of the home. Although it may not have been a requirement at the time of construction, retrofitting the crawlspace with insulation can significantly increase the energy efficiency of the home.
Attic		
Page 35 Item: 3	Insulation	<ul style="list-style-type: none"> • PREVENTIVE: The attic floor is minimally insulated, which would not be considered adequate using current standards, and you may wish to add more for improved energy efficiency.
Main Panel		
Page 37 Item: 2	Panel Covers	<ul style="list-style-type: none"> • PREVENTIVE: The interior cover for the main electrical panel is missing. The cover will need to be replaced to prevent exposing those who open the panel to shock hazards. This condition is easily remedied at minimal expense to avoid accidental contact and moisture intrusion. This repair should be performed by an appropriately qualified specialist.

Lights and Switches		
Page 44 Item: 3	Sensors and Timers	<ul style="list-style-type: none"> • DEFERRED: Light fixtures equipped with sensors or timers are not evaluated or tested.
Receptacle Outlets		
Page 46 Item: 2	Interior Outlets	<ul style="list-style-type: none"> • CAUTION: There are missing outlet covers that need to be replaced for safety reasons.
AFCI Protection		
Page 48 Item: 1	AFCI Breakers	<ul style="list-style-type: none"> • PREVENTIVE: Concerned parties may wish to have a qualified professional install AFCI breakers as a preventive safety measure.
Electric Vehicle Charger		
Page 49 Item: 1	Electric Vehicle Charger	<ul style="list-style-type: none"> • DEFERRED: The electrical system includes an electric vehicle charger (EVC) located in the garage. The EVC appears to be functional but is not covered under a home inspection. We recommend an appropriately qualified specialist evaluate the EVC and its components for safe and proper function.
Gas Supply System		
Page 53 Item: 2	Gas Shut-Off	<ul style="list-style-type: none"> • PREVENTIVE: The gas supply system does not have a seismic shut-off valve. The safety valve was not required when the home was built but you may wish to install one as a safety upgrade. • PREVENTIVE: Concerned parties may wish to place a gas shut off wrench at the gas main to facilitate a faster emergency shut down of the gas supply. These devices are inexpensive and can be zip tied to the gas line.
Water Heater		
Page 63 Item: 7	Drip Pan	<ul style="list-style-type: none"> • PREVENTIVE: The water heater was not equipped with a drip pan or overflow pipe to minimize water damage from a leak. You may wish to install a drip pan and overflow pipe as a preventative measure.
Forced Air Furnace		
Page 68 Item: 5	Air Filter	<ul style="list-style-type: none"> • PREVENTIVE: Depending on filter type, it is important to replace or clean the filter every two or three months. If filters are not changed or cleaned regularly, the ducts can become contaminated which can be expensive to clean or replace.

Masonry Fireplace		
Page 72 Item: 1	Fireplace	<ul style="list-style-type: none"> • NFPA RECOMMENDED INSPECTIONS: The National Fire Protection Agency (NFPA) highly recommends an annual inspection of all fireplaces, chimneys, gas appliances and vents. They also recommend that an inspection take place upon the transfer of a property, the replacement of an appliance, an operating malfunction, or following an external event (such as an earthquake) likely to have caused damage. Our inspection of the fireplace and chimney pipe is limited to the readily visible areas and components, and a visual inspection such as that provided by your inspector is not adequate to discover hidden deficiencies or damage should they exist. A NFPA 211 Standard, Level II inspection, which includes cleaning the interior of the chimney pipe and the use of specialized tools and testing procedures, such as video cameras, etc., is needed to thoroughly evaluate the fireplace system. In one has not been performed over the past 12 months, such an inspection is recommended at this time for your safety.
Gas Appliance Fireplace		
Page 77 Item: 1	Fireplace	<ul style="list-style-type: none"> • DEFERRED: Control switch or remote could not be found at the time of inspection. Concerned parties may wish to inquiry on functionality.
Doors		
Page 81 Item: 3	Closets	<ul style="list-style-type: none"> • DEFERRED: There are missing closet doors. Concerned parties may wish to have the closet doors replaced.
Laundry Provisions		
Page 91 Item: 5	Gas Supply	<ul style="list-style-type: none"> • DEFERRED: The gas line and connector were not visible or accessible for evaluation.
Additional Components		
Page 97 Item: 1	Doorbells	<ul style="list-style-type: none"> • DEFERRED: The smart doorbell did not respond and may not be activated. You may wish to verify this with the seller and/or have it evaluated by a qualified technician.
Vehicle Doors		
Page 98 Item: 1	Vehicle Doors	<ul style="list-style-type: none"> • DEFERRED: The left garage vehicle door could not be tested, as the user controls were not accessible at the time of inspection. Further investigation may be necessary to locate and assess the functionality of the controls.

Inspection Information

1. Attendance

Attendees:

- The Inspector was present at the inspection.

2. Property Type

Property Type:

- The structure is a Single Family Home.

3. Occupancy

Status:

- The Property was Vacant and Unfurnished.

4. Weather Conditions

Conditions:

- The weather at the time of inspection was sunny and warm.

Environmental Comments

1. Pest Control

Exclusions:

- **PEST CONTROL:** You will receive a separate report detailing any evidence of wood destroying organisms or conditions that may lead to possible concerns from our termite inspection affiliate. Your home inspector is not a pest control inspector and is not trained or appropriately qualified to provide you with any information regarding rodents, pests, and wood destroying insects or organisms, or the possibility of hidden damage and potential health hazards caused by the presence of the same.

2. Mold

Exclusions:

- **MOLD INSPECTIONS:** Your home inspector did not perform a mold inspection of the residence. A mold inspection consists of a visual inspection for mold growth, moisture mapping for hidden leaks, air sampling, surface sampling and laboratory analysis of the samples. If you have concerns about mold or other fungal growth, please contact our office to schedule a mold inspection and sampling appointment.

Property Comments

1. Inspection Scope

Scope:

- **INSPECTION SCOPE:** Our inspection is primarily a visual search of the structure, systems and property for safety concerns, deficient items, preventive measures, major material defects and system identification. Our report is not a listing of relatively minor repairs or improvements that could be made. We recommend you consult with the appropriately qualified specialists in all trades and fields to provide you with detailed evaluations and written estimates for all repairs and renovations.

Site Features

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Vegetation

Observations:

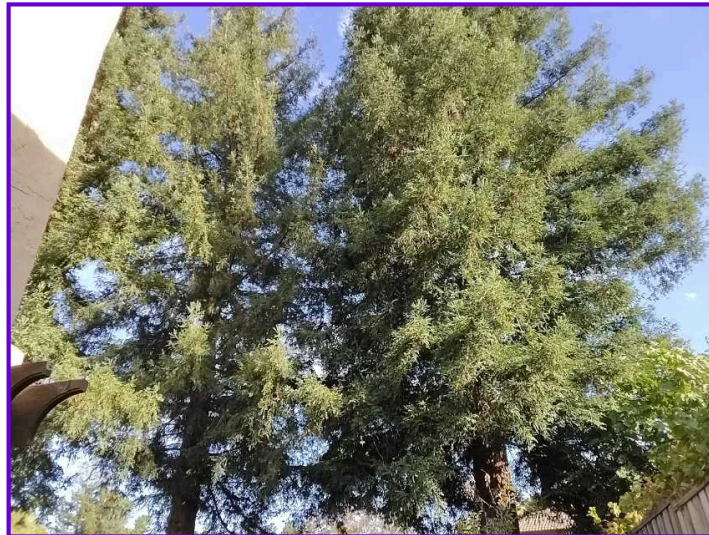
- **VEGETATION:** There are trees and/or vegetation on or adjacent to the property. Evaluation of trees and vegetation falls outside the scope of a home inspection. Concerned parties may wish to have the trees and/or other vegetation examined by an appropriate specialist. An arborist is normally considered best qualified.



VEGETATION: There are trees and/or vegetation on or adjacent to the property.



VEGETATION: There are trees and/or vegetation on or adjacent to the property.



VEGETATION: There are trees and/or vegetation on or adjacent to the property.

2. Detached Steps

Observations:

- **COMMENTS:** The detached steps located at the side of the property were functional and in satisfactory condition.

Site Features (continued)



COMMENTS: The detached steps located at the side of the property were functional and in satisfactory condition.

3. Railings

Observations:

- **CAUTION:** Handrails were not provided for the stairs at front of the property. Standards require stairs with three or more risers have handrails that are grippable, a minimum of thirty-four inches high and with vertical pickets no more than four inches apart.



CAUTION: Handrails were not provided for the stairs at front of the property.

4. Fencing and Gating

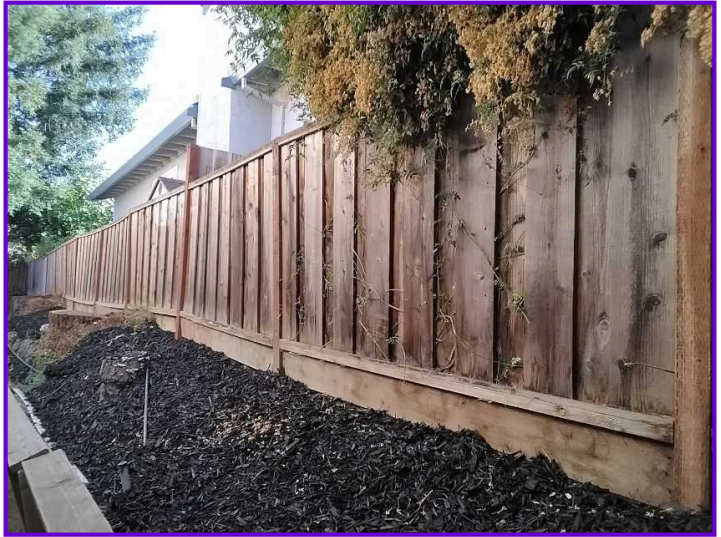
Observations:

- COMMENTS: The fencing of the property is functional.
- COMMENTS: The gating of the property is functional.

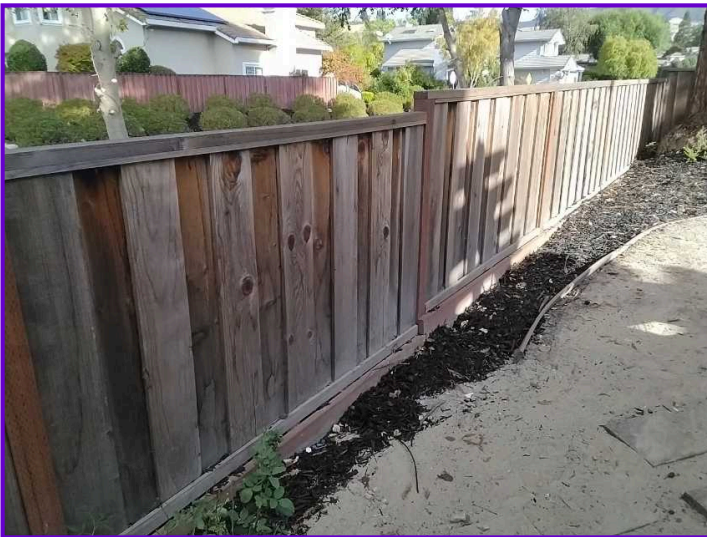
Site Features (continued)



COMMENTS: The gating of the property is functional.



COMMENTS: The fencing of the property is functional.



COMMENTS: The fencing of the property is functional.



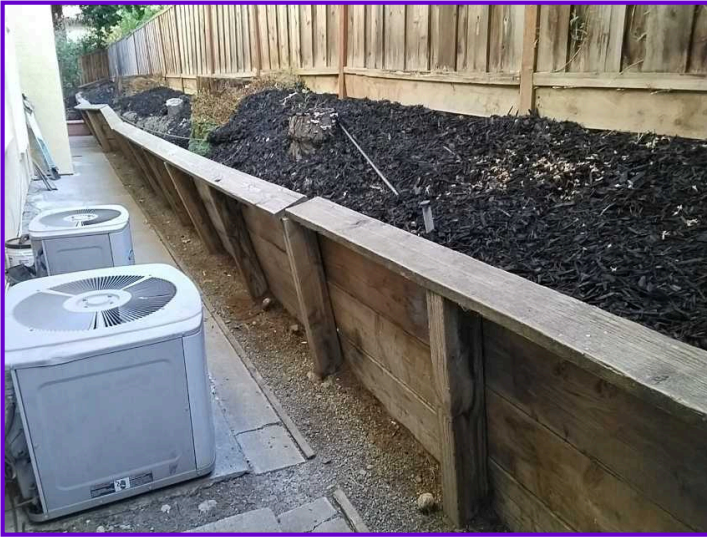
COMMENTS: The gating of the property is functional.

5. Property Walls

Observations:

- **COMMENTS:** The retaining walls in the front of the home appear to be functional and displayed no evidence of failure or damage.
- **DEFERRED:** Evaluation of yard and retaining wall strength, adequacy, and drainage falls outside the scope of a home inspection. Such evaluation would require the services of an engineer. Our evaluation is limited to reporting significant defects that are visible and apparent at the time of the inspection. Concerned parties may wish to have them further evaluated by a qualified professional.
- **MONITOR:** The retaining wall at the side of the property has questionable or unknown structural value as a retaining wall in that it is not engineered as would normally be required for a wall over four feet high and will therefore need to be periodically monitored for movement/failure. These types of walls are far more prone to failure than walls that are engineered, and we cannot endorse them.

Site Features (continued)



MONITOR: The retaining wall at the side of the property has questionable or unknown structural value.

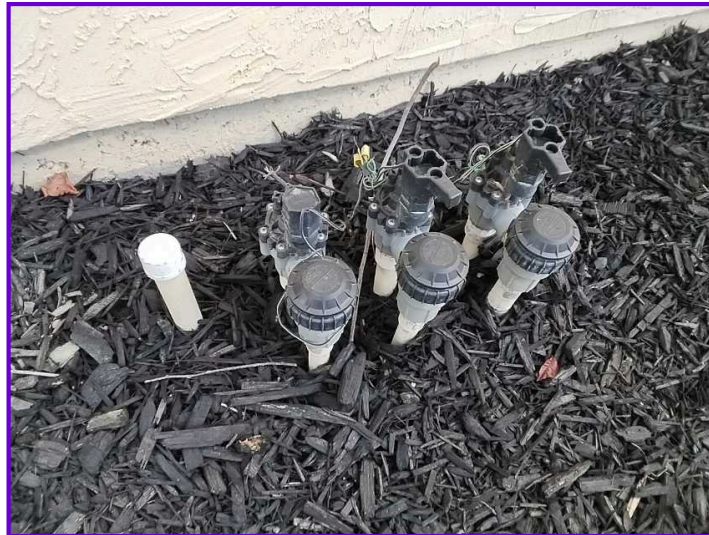


COMMENTS: The retaining walls in the front of the home appear to be functional and displayed no evidence of failure or damage.

6. Watering System

Observations:

• **DEFERRED:** The property is equipped with an automated watering system. It is crucial to ensure that the sprinklers do not direct water towards the residence or create pooling around the base of the home. Excess moisture can lead to damage to the foundation and exterior surfaces. Please note that the inspection of sprinklers or any ground watering systems falls outside the scope of a standard home inspection.



DEFERRED: The property is equipped with an automated watering system.

Grading and Drainage

1. Surface Drainage

Observations:

- **COMMENTS:** Surface drainage conditions within 10 feet of the inspected structure(s) appeared satisfactory.
- **PREVENTIVE:** There are area drains on the property. The drain lines should be maintained and tested annually and the drain covers evaluated regularly for damage. Because dirt and/or debris can block the pipes, they should be tested (flushed through) to ensure the drain lines are functional. Area drains are not filled or tested by your home inspector.



PREVENTIVE: There are area drains on the property.

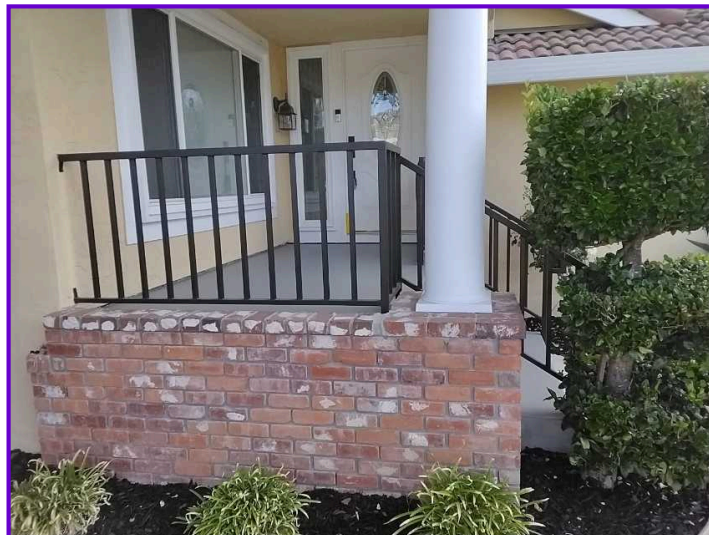


PREVENTIVE: There are area drains on the property.

2. Elevations

Observations:

- **COMMENTS:** There appears to be an adequate difference in elevation between the exterior grade and the interior floors.



COMMENTS: There appears to be an adequate difference in elevation between the exterior grade and the interior floors.

Grading and Drainage (continued)

3. Grading

Observations:

- COMMENTS: Grading conditions within 10 feet of the inspected structure appeared satisfactory.

Hardscaping

1. Patio

Observations:

- COMMENTS: The patio is functional.



COMMENTS: The patio is functional.

2. Driveway

Observations:

- COMMENTS: The concrete driveway is functional but has some minor cracks that are likely due to settlement or expansion but that do not appear to warrant attention or concern at this time.



COMMENTS: The concrete driveway is functional but has some minor cracks.

3. Walkways

Observations:

- COMMENTS: The walkways at various locations around the residence are functional.

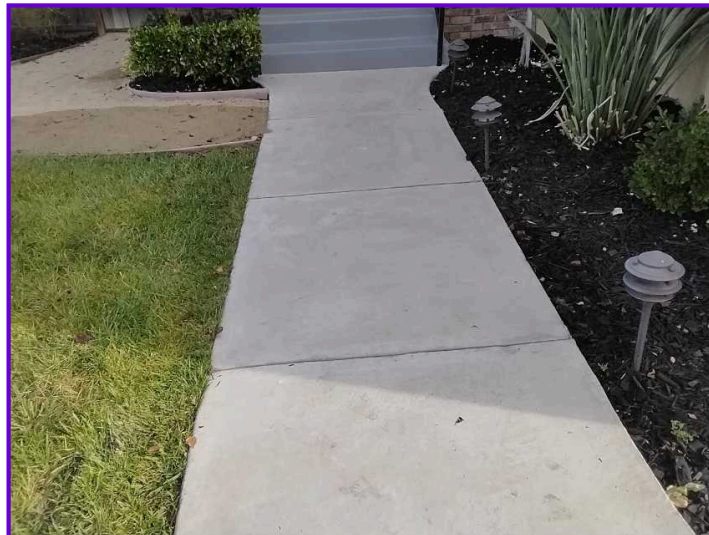
Hardscaping (continued)



COMMENTS: The walkways at various locations around the residence are functional.



COMMENTS: The walkways at various locations around the residence are functional.



COMMENTS: The walkways at various locations around the residence are functional.

Building Features

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

1. Wall Coverings

Observations:

- COMMENTS: The exterior wall coverings appear to be functional and in good condition.



COMMENTS: The exterior wall coverings appear to be functional and in good condition.

2. Fascia and Trim

Observations:

- COMMENTS: The fascia board and trim appear to be functional.



COMMENTS: The fascia board and trim appear to be functional.

3. Eaves and Soffits

Observations:

- COMMENTS: The eaves and soffits appear to be in functional condition.

Building Features (continued)



COMMENTS: The eaves and soffits appear to be in functional condition.

4. Doors and Windows

Observations:

- COMMENTS: The door and window exteriors appear to be in satisfactory condition.



COMMENTS: The door and window exteriors appear to be in satisfactory condition.

5. Screens

Observations:

- COMMENTS: The provided window and door screens are functional.

Building Features (continued)

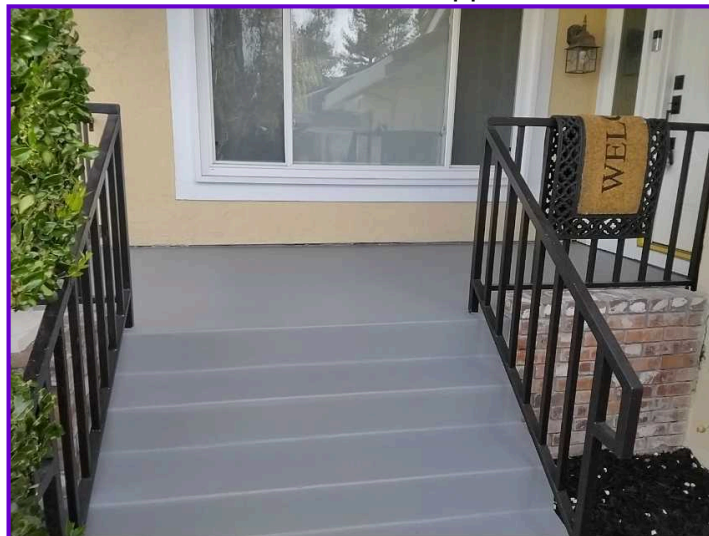


COMMENTS: The provided window and door screens are functional.

6. Porches and Stoops

Observations:

- COMMENTS: The porch at the front of the residence appears functional.



COMMENTS: The porch at the front of the residence appears functional.

7. Stairs and Landings

Observations:

- COMMENTS: The attached stairs at multiple locations on the residence are in satisfactory condition.

Building Features (continued)



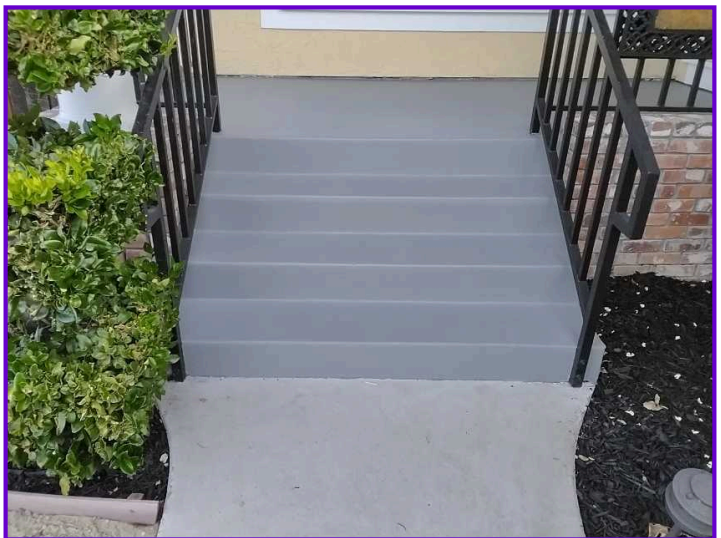
COMMENTS: The attached stairs and landing at the rear of the residence are in satisfactory condition.



COMMENTS: The attached stairs at the rear of the residence are in satisfactory condition.



COMMENTS: The attached stairs at the rear of the residence are in satisfactory condition.



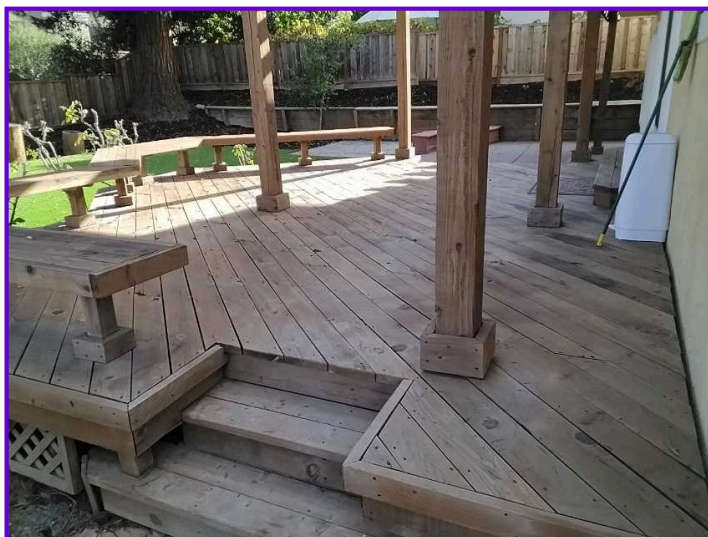
COMMENTS: The attached stairs at the front of the residence are in satisfactory condition.

8. Decks and Balconies

Observations:

- COMMENTS: The deck at the rear of the residence appeared functional, well constructed and structurally sound.

Building Features (continued)



COMMENTS: The deck at the rear of the residence appeared functional, well constructed and structurally sound.

9. Railings

Observations:

- COMMENTS: The handrails at the attached deck appear functional and secure.
- CAUTION: Handrails were not provided for the stairs at the residence. Standards require stairs with three or more risers have handrails that are grippable, a minimum of thirty-four inches high and with vertical pickets no more than four inches apart.



CAUTION: Handrails were not provided for the stairs at rear of the residence.



CAUTION: Handrails were not provided for the stairs at rear of the residence.

Building Features (continued)



COMMENTS: The handrails at the attached deck appear functional and secure.

10. Pergolas and Trellises

Observations:

- COMMENTS: The pergola at the rear of the residence appears functional.



COMMENTS: The pergola at the rear of the residence appears functional.

Structure & Framing

We inspect the roof structure and its components when accessible, ensuring that all visible areas are thoroughly examined for any signs of damage or wear. This examination helps to assess the overall integrity and condition of the roof and its structural components.

1. Wall Structure

Observations:

- COMMENTS: The wall structure components appear functional.
- COMMENTS: The walls of the home would appear to be conventionally framed with 2x4 wood studs.

2. Floor Structure

Observations:

- COMMENTS: The visible floor structure components appeared functional.
- COMMENTS: The floor structure is conventionally framed with wood joists supported by poured concrete stem walls and wood posts on concrete piers.



COMMENTS: The visible floor structure components appeared functional.

3. Ceiling and Roof Structure

Observations:

- COMMENTS: The ceiling and roof structure appeared functional.
- COMMENTS: The ceiling and roof structure are conventionally framed with 2x4 and 2x6 dimensional lumber.

Structure & Framing (continued)



COMMENTS: The ceiling and roof structure appeared functional.

Raised Foundation

1. Foundation Walls

Observations:

- **COMMENTS:** The poured concrete foundation walls appear to be functional.



COMMENTS: The poured concrete foundation walls appear to be functional.

2. Supplemental Support

Observations:

- **COMMENTS:** The supplemental support posts are properly placed and appeared functional at the time of inspection.



COMMENTS: The supplemental support posts are properly placed and appeared functional at the time of inspection.

3. Sill Plates and Anchorage

Observations:

- **COMMENTS:** Bolting of the framing sill plates to the foundation concrete stem walls was observed under the residence.

Raised Foundation (continued)



COMMENTS: Bolting of the framing sill plates to the foundation concrete stem walls was observed under the residence.



COMMENTS: Bolting of the framing sill plates to the foundation concrete stem walls was observed under the residence.

4. Seismic Bracing

Observations:

- COMMENTS: The foundation has been retro-fit with brackets and braces for additional seismic strengthening.



COMMENTS: The foundation has been retro-fit with brackets and braces for additional seismic strengthening.

Underfloor Areas

1. Access

Observations:

- **COMMENTS:** The crawlspace was entered for inspection of the underfloor areas, systems, and components. Access to the crawlspace is located on the side of the house.



COMMENTS: The crawlspace was entered for inspection of the underfloor areas, systems, and components.

2. Ventilation

Observations:

- **COMMENTS:** Ventilation of the foundation crawlspace appears conventional and should be sufficient.



COMMENTS: Ventilation of the foundation crawlspace appears conventional and should be sufficient.

3. Moisture Intrusion

Observations:

- **COMMENTS:** There was no visible evidence of excessive moisture penetration of the underfloor areas observed at the time of the inspection.

Underfloor Areas (continued)



COMMENTS: There was no visible evidence of excessive moisture penetration of the underfloor areas observed at the time of the inspection.

4. Insulation

Observations:

- **PREVENTIVE:** There was no insulation visible in the underfloor areas of the home. Although it may not have been a requirement at the time of construction, retrofitting the crawlspace with insulation can significantly increase the energy efficiency of the home.



PREVENTIVE: There was no insulation visible in the underfloor areas of the home.

5. Wood and Soil Contact

Observations:

- **COMMENTS:** Where visible and accessible, wood clearances from soil appeared satisfactory.

Underfloor Areas (continued)



COMMENTS: Where visible and accessible, wood clearances from soil appeared satisfactory.

Primary Roof

1. Roof Drainage

Observations:

- COMMENTS: The downspouts appeared to be clear and in satisfactory condition.



COMMENTS: The downspouts appeared to be clear and in satisfactory condition.



COMMENTS: The downspouts appeared to be clear and in satisfactory condition.



COMMENTS: The downspouts appeared to be clear and in satisfactory condition.



COMMENTS: The downspouts appeared to be clear and in satisfactory condition.

Primary Roof (continued)



COMMENTS: The downspouts appeared to be clear and in satisfactory condition.

Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access

Observations:

- **COMMENTS:** There is clear access to the attic which allowed inspection of the attic areas and components.

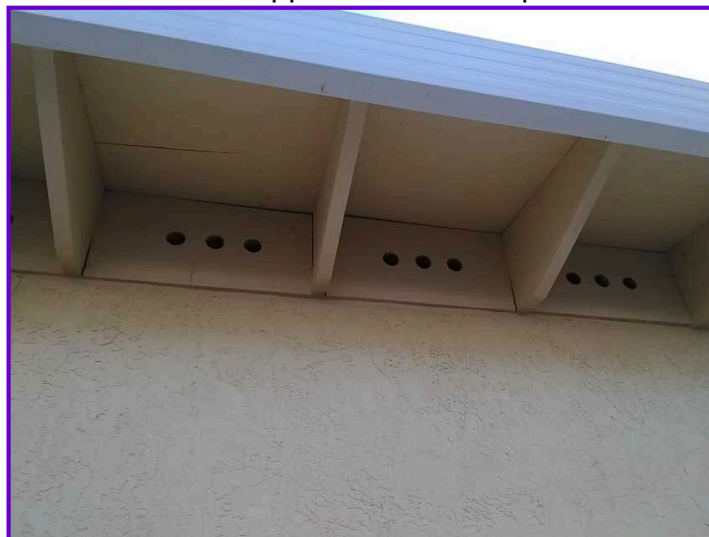


COMMENTS: There is clear access to the attic which allowed inspection of the attic areas and components.

2. Ventilation

Observations:

- **COMMENTS:** Ventilation within the attic appears to be adequate.



COMMENTS: Ventilation within the attic appears to be adequate.

Attic (continued)

3. Insulation

Observations:

- **PREVENTIVE:** The attic floor is minimally insulated, which would not be considered adequate using current standards, and you may wish to add more for improved energy efficiency.



PREVENTIVE: The attic floor is minimally insulated.

Electrical Service

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Service Entrance

Observations:

- **COMMENTS:** The service entrance is underground.

Main Panel

1. Main Panel

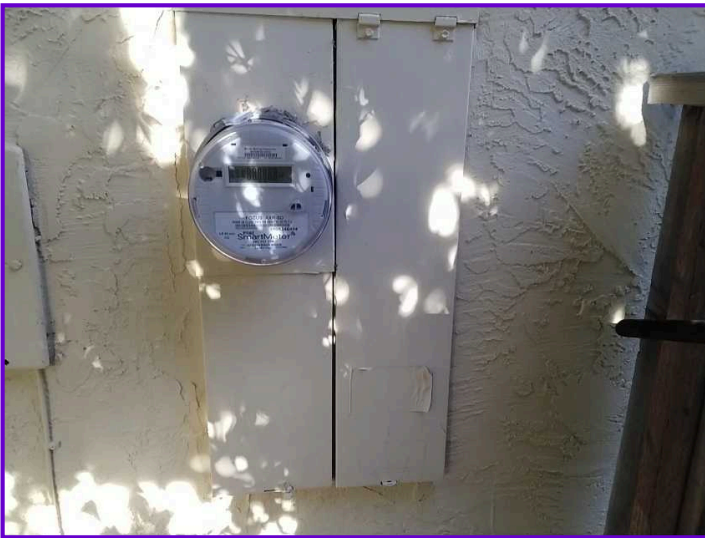
Observations:

- **COMMENTS:** The residence is served by what appears to be a 125 amp panel located at the exterior of the garage.
- **COMMENTS:** The main panel and its components have no visible deficiencies.

2. Panel Covers

Observations:

- **COMMENTS:** The exterior cover at the main panel appears functional.
- **PREVENTIVE:** The interior cover for the main electrical panel is missing. The cover will need to be replaced to prevent exposing those who open the panel to shock hazards. This condition is easily remedied at minimal expense to avoid accidental contact and moisture intrusion. This repair should be performed by an appropriately qualified specialist.



COMMENTS: The exterior cover at the main panel appears functional.



PREVENTIVE: The interior cover for the main electrical panel is missing.

3. Circuit Breakers

Observations:

- **COMMENTS:** There were no visible deficiencies with the circuit breakers in the main electrical panel.

Main Panel (continued)



COMMENTS: There were no visible deficiencies with the circuit breakers in the main electrical panel.

4. Main Disconnect

Observations:

- COMMENTS: The 125 amp main disconnect is located inside the main panel.



COMMENTS: The 125 amp main disconnect is located inside the main panel.

5. Wiring

Observations:

- COMMENTS: We observed no deficiencies at the visible and accessible branch circuit wiring within the main panel.

Main Panel (continued)



COMMENTS: We observed no deficiencies at the visible and accessible branch circuit wiring within the main panel.

6. Grounding Electrode System

Observations:

- COMMENTS: The main electrical panel appears to be properly grounded.



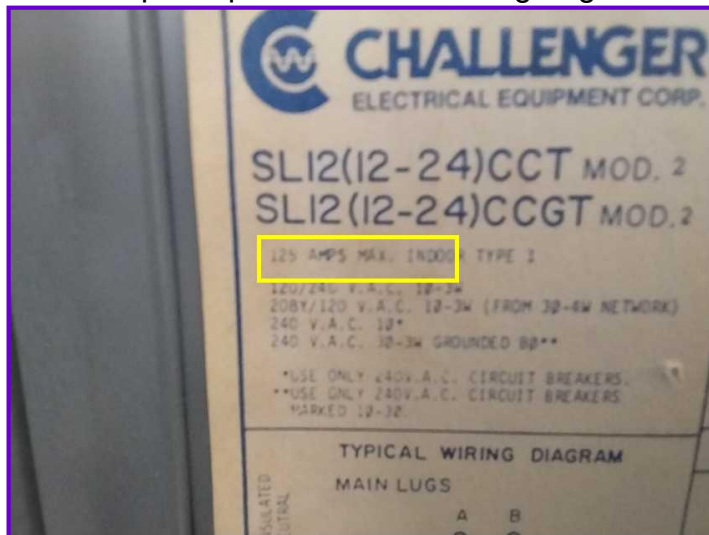
COMMENTS: The main electrical panel appears to be properly grounded.

Sub Panel

1. Sub Panel

Observations:

- COMMENTS: The sub panel and its components have no visible deficiencies.
- COMMENTS: There is a 125 amp sub panel located in the garage.



COMMENTS: There is a 125 amp sub panel located in the garage.

2. Panel Covers

Observations:

- COMMENTS: The interior and exterior covers at the sub panel appear functional.



COMMENTS: The exterior cover at the sub panel appears functional.



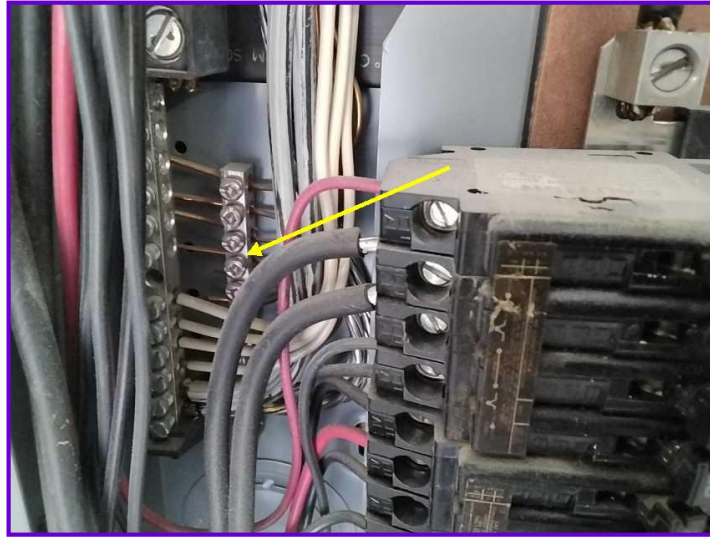
COMMENTS: The interior cover at the sub panel appears functional.

3. Circuit Breakers

Observations:

- COMMENTS: There were no visible deficiencies with the circuit breakers in the sub panel.

Sub Panel (continued)



COMMENTS: The sub panel appears to be properly grounded.

Wiring

1. Wiring Types

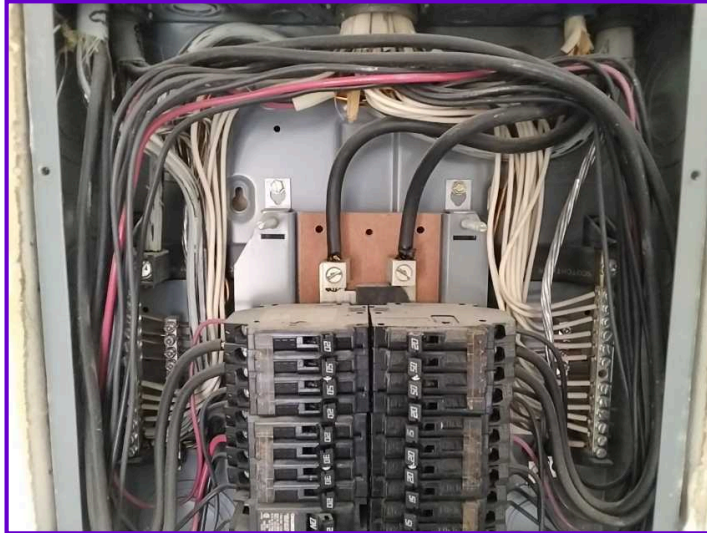
Observations:

- COMMENTS: Where visible and accessible, the branch circuit wiring in this residence is primarily vinyl-wrapped NM copper.

2. Exterior Wiring

Observations:

- COMMENTS: We observed no deficiencies with the visible and accessible exterior branch circuit wiring at the time of the inspection.



COMMENTS: We observed no deficiencies with the visible and accessible exterior branch circuit wiring at the time of the inspection.

3. Interior Wiring

Observations:

- COMMENTS: We observed no deficiencies with the visible and accessible interior branch circuit wiring at the time of the inspection.

Lights and Switches

1. Interior

Observations:

- **COMMENTS:** The tested interior light fixtures were functional unless otherwise noted.



COMMENTS: The tested interior light fixtures were functional unless otherwise noted.

2. Exterior

Observations:

- **COMMENTS:** The tested exterior light fixtures were functional unless otherwise noted.



COMMENTS: The tested exterior light fixtures were functional unless otherwise noted.

3. Sensors and Timers

Observations:

- **DEFERRED:** Light fixtures equipped with sensors or timers are not evaluated or tested.

Lights and Switches (continued)



DEFERRED: Light fixtures equipped with sensors or timers are not evaluated or tested.

Receptacle Outlets

1. Exterior Outlets

Observations:

- **COMMENTS:** The tested exterior receptacle outlets were functional unless otherwise noted.
- **SAFETY:** There is an outlet at the exterior of the residence that need to be fitted with waterproof cover.



SAFETY: There is an outlet at the exterior of the residence that need to be fitted with waterproof cover.

2. Interior Outlets

Observations:

- **COMMENTS:** The tested interior receptacle outlets were functional unless otherwise noted.
- **CAUTION:** There are missing outlet covers that need to be replaced for safety reasons.



COMMENTS: The tested interior receptacle outlets were functional unless otherwise noted.



CAUTION: There are missing outlet covers that need to be replaced for safety reasons.

GFCI Protection

1. GFCI Receptacle Outlets

Observations:

- COMMENTS: The **GFCI** protected receptacle outlets at the home responded correctly when tested.



COMMENTS: The GFCI protected receptacle outlets at the home responded correctly when tested.

AFCI Protection

1. AFCI Breakers

Observations:

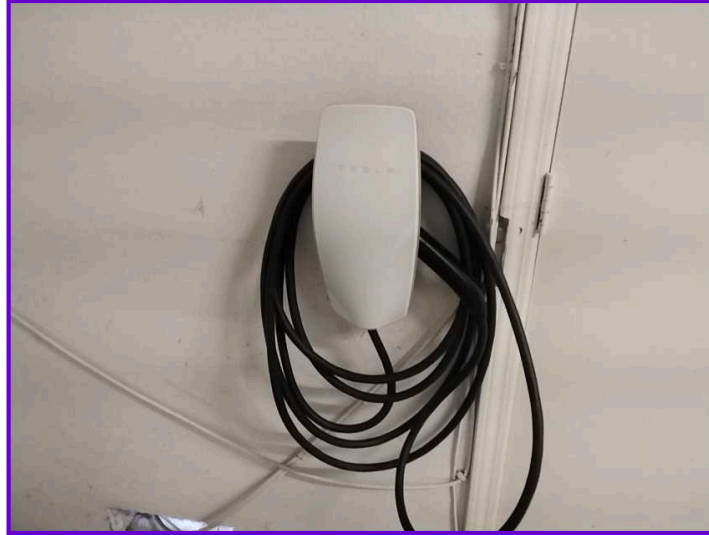
- **PREVENTIVE:** Concerned parties may wish to have a qualified professional install **AFCI** breakers as a preventive safety measure.

Electric Vehicle Charger

1. Electric Vehicle Charger

Observations:

- **DEFERRED:** The electrical system includes an electric vehicle charger (EVC) located in the garage. The EVC appears to be functional but is not covered under a home inspection. We recommend an appropriately qualified specialist evaluate the EVC and its components for safe and proper function.



DEFERRED: The electrical system includes an electric vehicle charger (EVC) located in the garage.

Water Supply System

1. Water Main

Observations:

- COMMENTS: Where exposed to view, the water main entering the home is a 1" copper line. The supply line enters at the front of the residence.

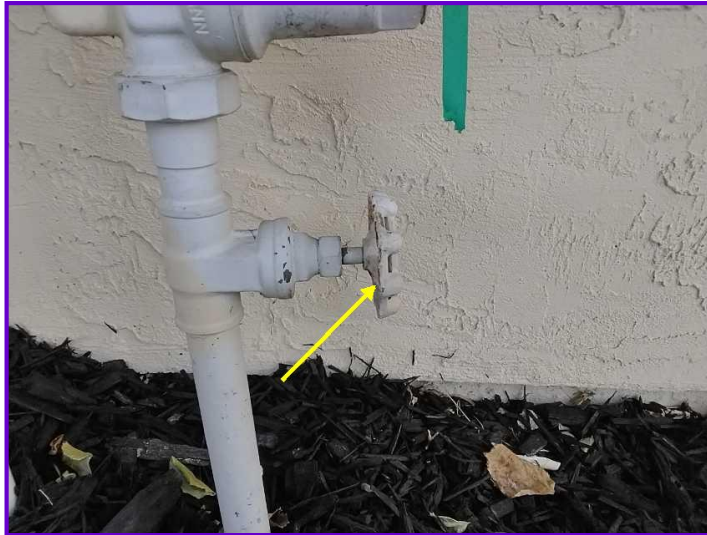


COMMENTS: Where exposed to view, the water main entering the home is a 1" copper line.

2. Water Main Shut Off

Observations:

- COMMENTS: The main water shut-off valve handle was in satisfactory condition.



COMMENTS: The main water shut-off valve handle was in satisfactory condition.

3. Pressure Regulator

Observations:

- COMMENTS: A functional water pressure regulator was in place on the main water line.

Water Supply System (continued)

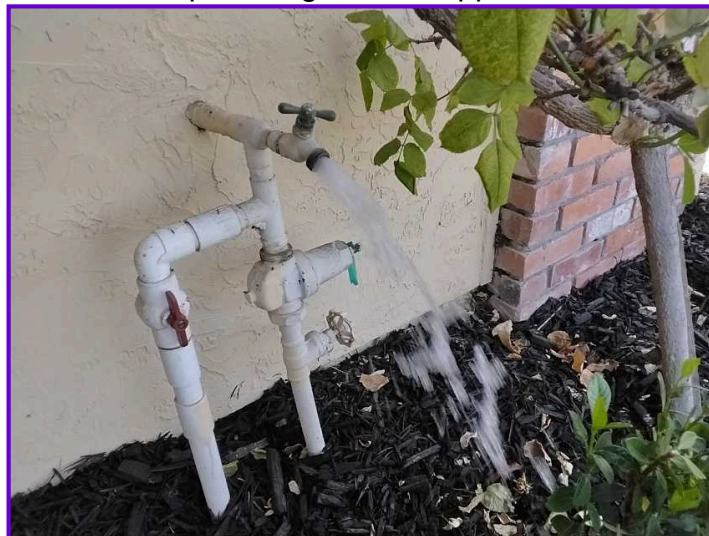


COMMENTS: A functional water pressure regulator was in place on the main water line.

4. Functional Flow

Observations:

- COMMENTS: The water flow at the plumbing fixtures appeared functional.



COMMENTS: The water flow at the plumbing fixtures appeared functional.

5. Supply Pipes and Connectors

Observations:

- COMMENTS: The potable water pipes, where visible, are copper and appear to be in satisfactory condition.

Water Supply System (continued)



COMMENTS: The potable water pipes, where visible, are copper and appear to be in satisfactory condition.

Gas Supply System

1. Meter and Main

Observations:

- **COMMENTS:** The gas meter appeared to be in satisfactory condition and is located towards the side of the residence.



COMMENTS: The gas meter appeared to be in satisfactory condition and is located towards the front of the residence.

2. Gas Shut-Off

Observations:

- **COMMENTS:** The manual gas shut-off valve is located at the gas main.
- **PREVENTIVE:** The gas supply system does not have a seismic shut-off valve. The safety valve was not required when the home was built but you may wish to install one as a safety upgrade.
- **PREVENTIVE:** Concerned parties may wish to place a gas shut off wrench at the gas main to facilitate a faster emergency shut down of the gas supply. These devices are inexpensive and can be zip tied to the gas line.



COMMENTS: The manual gas shut-off valve is located at the gas main.



PREVENTIVE: Concerned parties may wish to place a gas shut off wrench at the gas main to facilitate a faster emergency shut down of the gas supply.

Gas Supply System (continued)



PREVENTIVE: The gas supply system does not have a seismic shut-off valve.

3. Lines and Valves

Observations:

- COMMENTS: The visible portions of the gas supply lines appear to be in satisfactory condition.



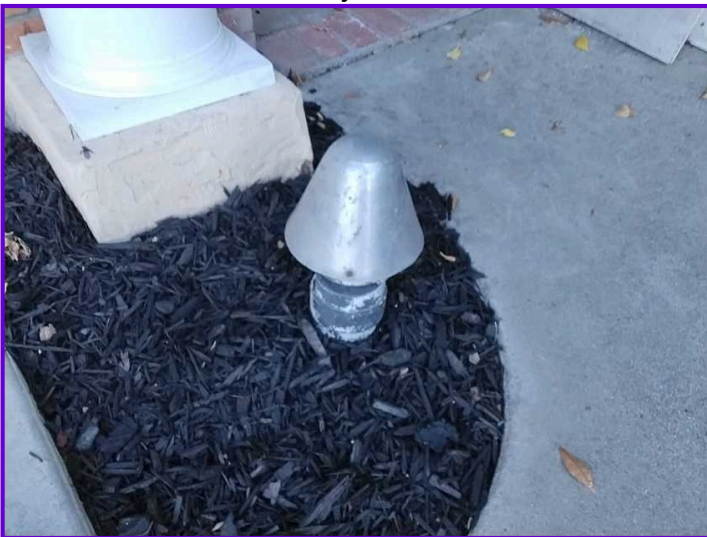
COMMENTS: The visible portions of the gas supply lines appear to be in satisfactory condition.

Drainage and Venting System

1. Drain and Vent Pipes

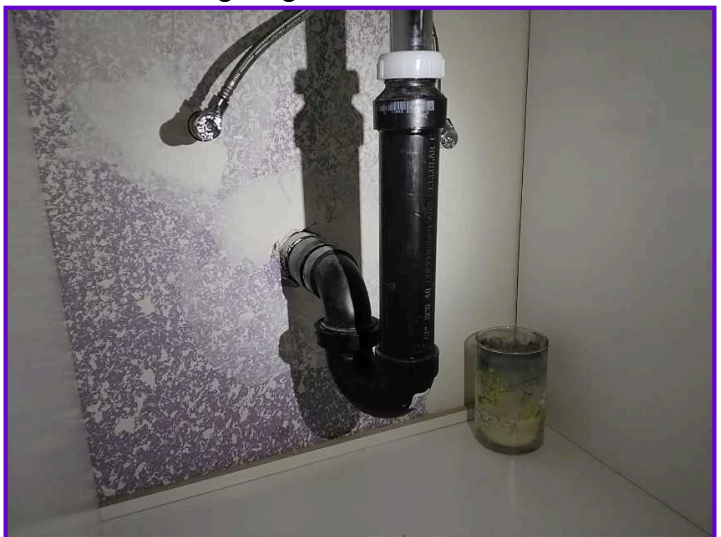
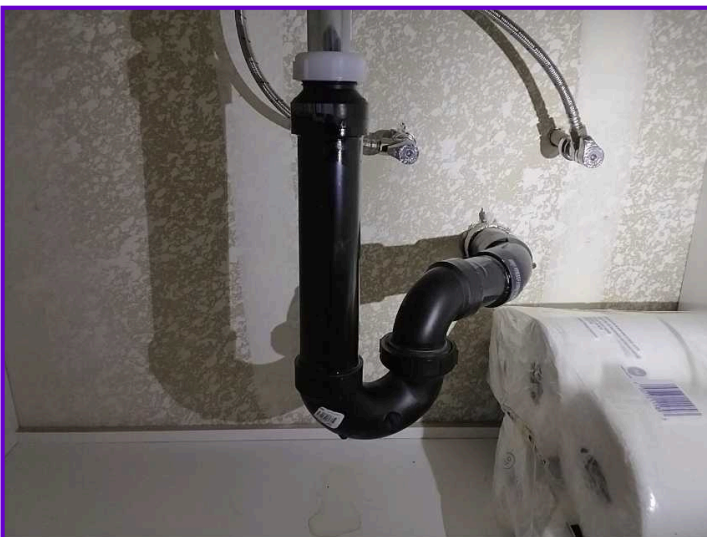
Observations:

- **COMMENTS:** The fixture drain and vent pipes within the home were functional at the time of the inspection.
- **COMMENTS:** There is an exterior clean-out at the home. The main drainpipe can be accessed by an exterior clean-out to facilitate the cleaning of the main waste line in the event of blockage. It is important to note the location of the exterior clean-outs should you ever need the sewer lines cleared.
- **COMMENTS:** There is an exterior over-flow at the front of the home. This is an important upgrade to the sewer line that will prevent waste from backing up into the home in the event of a clogged sewer line. The main drainpipe can also be accessed by an overflow to facilitate the cleaning of the main waste line in the event of blockage. It is important to note the location of the exterior clean-outs/over-flows should you ever need the sewer lines cleared.



COMMENTS: There is an exterior over-flow at the front of the home.

COMMENTS: There is an exterior clean-out in the garage of the home.



COMMENTS: The fixture drain and vent pipes within the home were functional at the time of the inspection.

COMMENTS: The majority of fixture drain and vent pipes within the home were functional at the time of the inspection.

Drainage and Venting System (continued)



COMMENTS: The majority of fixture drain and vent pipes within the home were functional at the time of the inspection.



COMMENTS: There is an exterior clean-out under the home.

Plumbing Fixtures

1. Sinks

Observations:

- COMMENTS: The kitchen sink and related components are functional.
- COMMENTS: The bathroom sinks and related components are functional.



COMMENTS: The kitchen sink and related components are functional.



COMMENTS: The bathroom sink and related components are functional.



COMMENTS: The bathroom sink and related components are functional.

2. Toilets

Observations:

- COMMENTS: The toilets responded properly when flushed.

Plumbing Fixtures (continued)



COMMENTS: The toilets responded properly when flushed.



COMMENTS: The toilets responded properly when flushed.



COMMENTS: The toilets responded properly when flushed.

3. Stall Showers

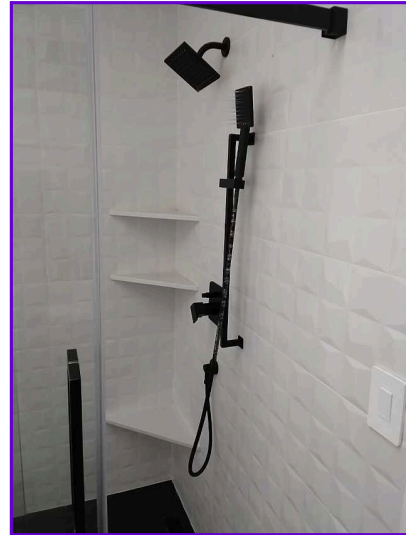
Observations:

- COMMENTS: The stall showers are functional.

Plumbing Fixtures (continued)



COMMENTS: The stall showers are functional.



COMMENTS: The stall showers are functional.

4. Tub-Showers

Observations:

- COMMENTS: The tub-shower is functional.



COMMENTS: The tub-shower is functional.

5. Tubs

Observations:

- COMMENTS: The tub in the master bathroom is functional.

Plumbing Fixtures (continued)



COMMENTS: The tub in the master bathroom is functional.

Water Heater

1. Water Heater

Observations:

- COMMENTS: The water heater was functioning satisfactorily at the time of the inspection, with no evidence of prior or active leakage observed.
- COMMENTS: There is a 2-year-old, 75-gallon, natural gas water heater located in the garage.



COMMENTS: The water heater was functioning satisfactorily at the time of the inspection, with no evidence of prior or active leakage observed.

2. Controls

Observations:

- COMMENTS: The temperature and setting controls were functional.



COMMENTS: The temperature and setting controls were functional.

3. Combustion Chamber

Observations:

- COMMENTS: The combustion chamber is free of leakage and excessive rust or corrosion.

Water Heater (continued)



COMMENTS: The combustion chamber is free of leakage and excessive rust or corrosion.

4. Combustion Air

Observations:

- COMMENTS: The water heater appears to have an adequate combustion-air supply.

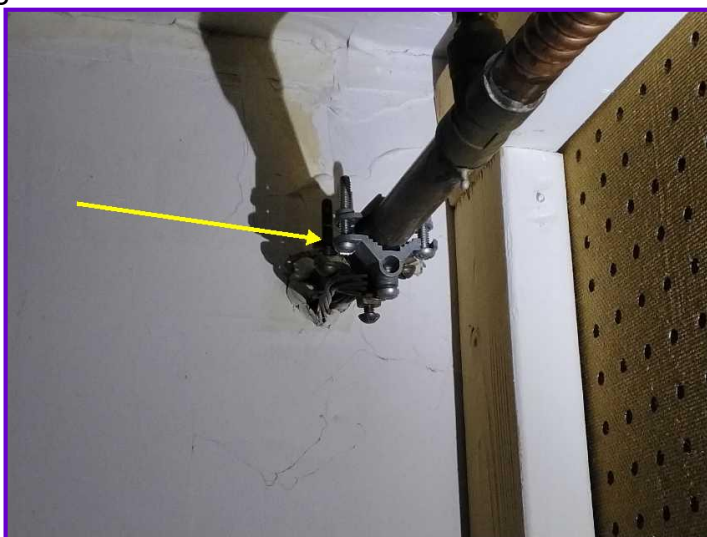
5. Water Line Connectors

Observations:

- COMMENTS: The water supply lines and connectors appeared to be in satisfactory condition.
- COMMENTS: The supply lines at the water heater are properly bonded. The bonding wire can redirect a small electrical current that passes through the copper piping to the steel fittings of the water heater. This process is thought to prevent electrolysis and corrosion, which can extend the service life of the water heater and prevent leaking.



COMMENTS: The water supply lines and connectors appeared to be in satisfactory condition.



COMMENTS: The supply lines at the water heater are properly bonded.

Water Heater (continued)

6. TPR Valve

Observations:

- **COMMENTS:** A temperature and pressure relief (TPR) valve was installed at the water heater as required. The valve includes a discharge pipe that discharges to within six inches of the ground at a visible and accessible exterior location as needed.



COMMENTS: A temperature and pressure relief (TPR) valve was installed at the water heater as required.



COMMENTS: The valve includes a discharge pipe that discharges to within six inches of the ground at a visible and accessible exterior location as needed.

7. Drip Pan

Observations:

- **PREVENTIVE:** The water heater was not equipped with a drip pan or overflow pipe to minimize water damage from a leak. You may wish to install a drip pan and overflow pipe as a preventative measure.



PREVENTIVE: The water heater was not equipped with a drip pan.

Water Heater (continued)

8. Venting Provisions

Observations:

- COMMENTS: The vent pipe and cap on the gas water heater appeared to be functional.



COMMENTS: The vent pipe and cap on the gas water heater appeared to be functional.

9. Gas Shut-Off Valve

Observations:

- COMMENTS: The gas control valve and connector appear to be functional.



COMMENTS: The gas control valve and connector appear to be functional.

10. Seismic Bracing

Observations:

- COMMENTS: The water heater is braced, anchored or strapped to help prevent falling or moving during an earthquake.

Water Heater (continued)



COMMENTS: The water heater is braced, anchored or strapped to help prevent falling or moving during an earthquake.

11. Drain Valve

Observations:

- COMMENTS: A drain valve was installed on the water heater. No leakage was noted. However, our evaluation did not include turning or testing of the drain valve.



COMMENTS: A drain valve was installed on the water heater.

12. Water Shut-Off Valve

Observations:

- COMMENTS: The shut-off valve and water line connectors on the water heater appeared functional. To avoid possible leakage, our evaluation does not include turning or testing of the shut-off valve.

Water Heater (continued)



COMMENTS: The shut-off valve and water line connectors on the water heater appeared functional.

Forced Air Furnace

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Furnace

Observations:

- COMMENTS: The furnace responded to normal user controls at the time of the inspection.
- COMMENTS: All forced air heating system components appeared satisfactory unless otherwise noted. These components include the vent pipe and vent cap, the gas valve and connector, the **combustion air** supply, the air filter, and the return air compartment and distribution system.



COMMENTS: All forced air heating system components appeared satisfactory unless otherwise noted.



COMMENTS: All forced air heating system components appeared satisfactory unless otherwise noted.

2. Combustion Air

Observations:

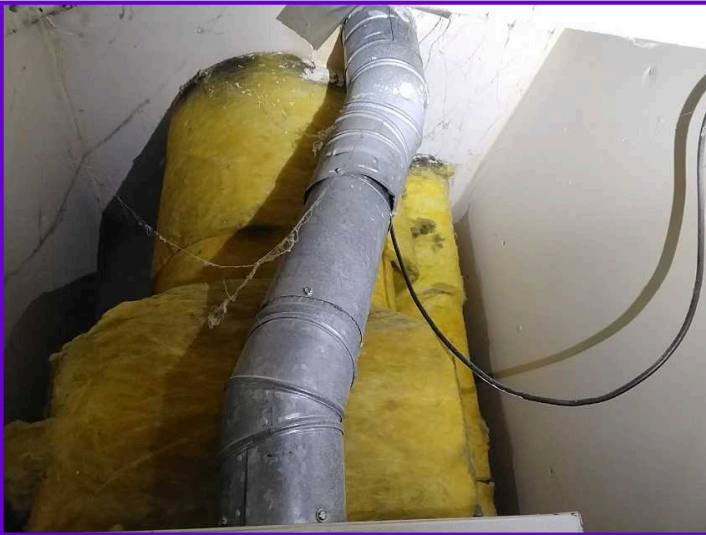
- COMMENTS: The combustion-air supply for the gas furnace appeared adequate.

3. Vent Pipe and Termination

Observations:

- COMMENTS: The furnace venting system components appear satisfactory.

Forced Air Furnace (continued)



COMMENTS: The furnace venting system components appear satisfactory.



COMMENTS: The furnace venting system components appear satisfactory.

4. Gas Valve and Connector

Observations:

- COMMENTS: The gas valve, connector and flexible gas feed line appear to be in satisfactory condition.



COMMENTS: The gas valve, connector and flexible gas feed line appear to be in satisfactory condition.



COMMENTS: The gas valve, connector and flexible gas feed line appear to be in satisfactory condition.

5. Air Filter

Observations:

- PREVENTIVE: Depending on filter type, it is important to replace or clean the filter every two or three months. If filters are not changed or cleaned regularly, the ducts can become contaminated which can be expensive to clean or replace.

Forced Air Furnace (continued)



PREVENTIVE: Depending on filter type, it is important to replace or clean the filter every two or three months.

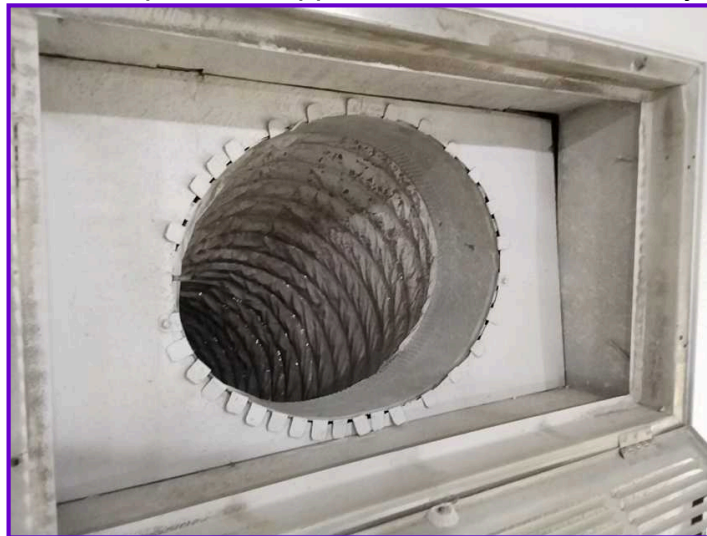


PREVENTIVE: Depending on filter type, it is important to replace or clean the filter every two or three months.

6. Return Air System

Observations:

- COMMENTS: The return air compartment appeared to be in satisfactory condition.



COMMENTS: The return air compartment appeared to be in satisfactory condition.

7. Distribution System

Observations:

- COMMENTS: Where visible and accessible, the supply ducts were in satisfactory condition.

Forced Air Furnace (continued)



COMMENTS: Where visible and accessible, the supply ducts were in satisfactory condition.

Split System

1. Cooling

Observations:

- **COMMENTS:** All secondary condenser system components appeared to be functional and in satisfactory condition. These components include the controls, evaporator coil, condensate drain lines, drip pan, refrigerant lines and the electrical disconnect at the condenser.



COMMENTS: All secondary condenser system components appeared to be functional and in satisfactory condition.



COMMENTS: All secondary condenser system components appeared to be functional and in satisfactory condition.

Masonry Fireplace

1. Fireplace

Observations:

- **COMMENTS:** The masonry fireplace appears to have no visible defects.
- **NFPA RECOMMENDED INSPECTIONS:** The National Fire Protection Agency (NFPA) highly recommends an annual inspection of all fireplaces, chimneys, gas appliances and vents. They also recommend that an inspection take place upon the transfer of a property, the replacement of an appliance, an operating malfunction, or following an external event (such as an earthquake) likely to have caused damage. Our inspection of the fireplace and chimney pipe is limited to the readily visible areas and components, and a visual inspection such as that provided by your inspector is not adequate to discover hidden deficiencies or damage should they exist. A NFPA 211 Standard, Level II inspection, which includes cleaning the interior of the chimney pipe and the use of specialized tools and testing procedures, such as video cameras, etc., is needed to thoroughly evaluate the fireplace system. In one has not been performed over the past 12 months, such an inspection is recommended at this time for your safety.



COMMENTS: The masonry fireplace appears to have no visible defects.



COMMENTS: The masonry fireplace appears to have no visible defects.

2. Mantle and Legs

Observations:

- **COMMENTS:** The mantle and legs are in satisfactory condition.

Masonry Fireplace (continued)



COMMENTS: The mantel and legs are in satisfactory condition.



COMMENTS: The mantel and legs are in satisfactory condition.

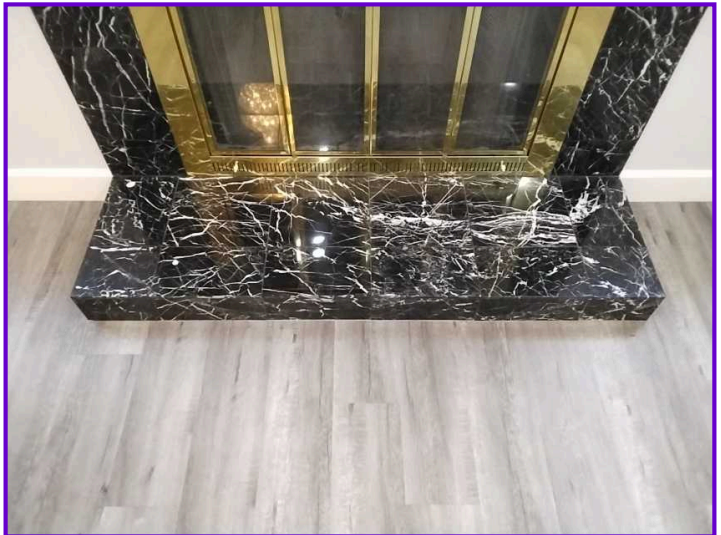
3. Hearth Extension

Observations:

- COMMENTS: The hearth extension is in satisfactory condition.



COMMENTS: The hearth extension is in satisfactory condition.



COMMENTS: The hearth extension is in satisfactory condition.

4. Glass Doors

Observations:

- COMMENTS: The fireplace glass doors are functional.

Masonry Fireplace (continued)



COMMENTS: The fireplace glass doors are functional.



COMMENTS: The fireplace glass doors are functional.

5. Fireplace Screen

Observations:

- COMMENTS: The fireplace screen appears satisfactory.



COMMENTS: The fireplace screen appears satisfactory.



COMMENTS: The fireplace screen appears satisfactory.

6. Log Starter

Observations:

- COMMENTS: The gas log starter in the fireplace appeared functional.

Masonry Fireplace (continued)



COMMENTS: The gas log starter in the fireplace appeared functional.



COMMENTS: The gas log starter in the fireplace appeared functional.

7. Log Grate

Observations:

- COMMENTS: The log grate appeared functional.



COMMENTS: The log grate appeared functional.



COMMENTS: The log grate appeared functional.

8. Damper

Observations:

- COMMENTS: The damper is functional.

Masonry Fireplace (continued)



COMMENTS: The damper is functional.



COMMENTS: The damper is functional.

9. Chimney

Observations:

- COMMENTS: The chimney structures had no visible defects.



COMMENTS: The chimney structures had no visible defects.



COMMENTS: The chimney structures had no visible defects.

10. Mortar Cap or Crown

Observations:

- COMMENTS: The metal chimney cap is in satisfactory condition.

11. Rain Cap

Observations:

- COMMENTS: The weather cap on the chimney is in satisfactory condition.

12. Spark Arrestor

Observations:

- COMMENTS: A spark arrestor was installed and appears to be in satisfactory condition.

Gas Appliance Fireplace

1. Fireplace

Observations:

- DEFERRED: Control switch or remote could not be found at the time of inspection. Concerned parties may wish to inquiry on functionality.

Floors

1. Floor Coverings

Observations:

- COMMENTS: Where visible and accessible, the majority of floor coverings were in satisfactory condition for their age.



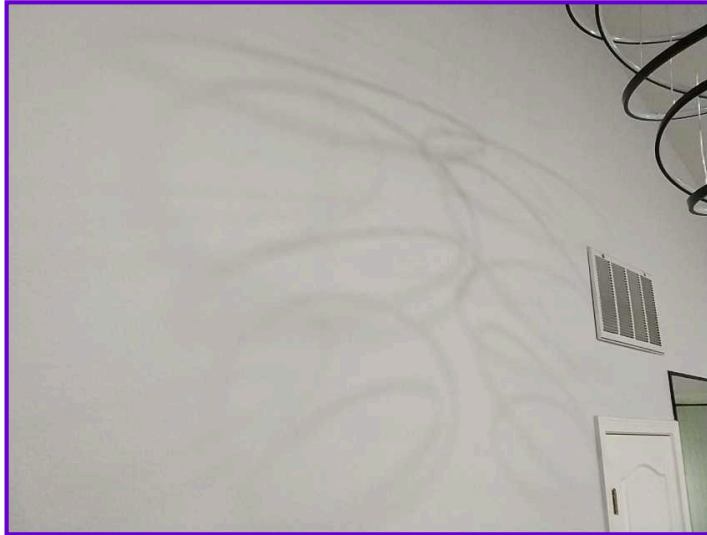
COMMENTS: Where visible and accessible, the majority of floor coverings were in satisfactory condition for their age.

Walls and Ceilings

1. Walls

Observations:

- COMMENTS: The wall coverings may have some minor cosmetic damage but are functional.

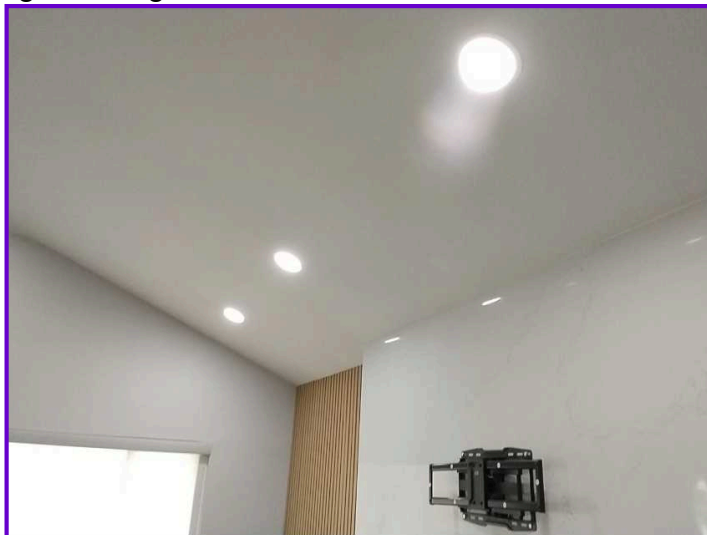


COMMENTS: The wall coverings may have some minor cosmetic damage but are functional.

2. Ceilings

Observations:

- COMMENTS: The ceiling coverings are functional.



COMMENTS: The ceiling coverings are functional.

Windows

1. Windows

Observations:

- COMMENTS: All tested windows were found to be functional at the time of the inspection.
- COMMENTS: The windows in this home are dual-glazed windows with insulated glass panes.



COMMENTS: All tested windows were found to be functional at the time of the inspection.

Doors

1. Exterior

Observations:

- **COMMENTS:** The exterior doors, latching and locking hardware and the thresholds appeared satisfactory and in functional condition.

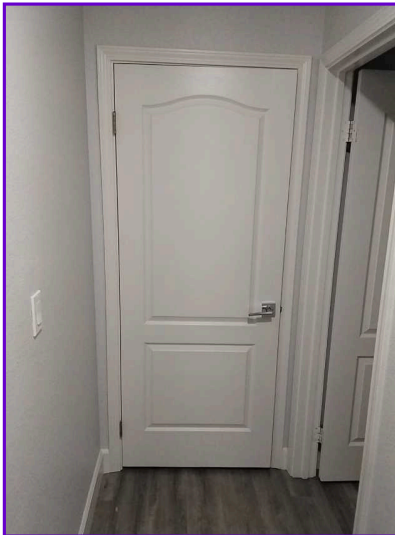


COMMENTS: The exterior doors, latching and locking hardware and the thresholds appeared satisfactory and in functional condition.

2. Interior

Observations:

- **COMMENTS:** The interior doors and their latching and operating hardware appeared satisfactory and in functional condition.



COMMENTS: The interior doors and their latching and operating hardware appeared satisfactory and in functional condition.

3. Closets

Observations:

- **COMMENTS:** The closet doors, guides and operating hardware appeared satisfactory and in functional condition.

- **DEFERRED:** There are missing closet doors. Concerned parties may wish to have the closet doors replaced.

Doors (continued)



DEFERRED: There are missing closet doors.



COMMENTS: The closet doors, guides and operating hardware appeared satisfactory and in functional condition.

Stairs and Landings

1. Handrails

Observations:

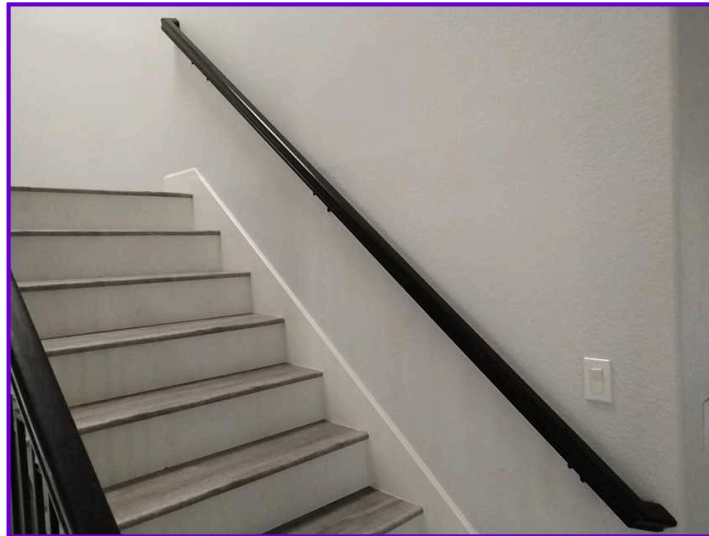
- COMMENTS: The handrails appear to be functional and secure.
- COMMENTS: The balusters rails appear to be functional and secure.



COMMENTS: The handrails appear to be functional and secure.



COMMENTS: The balusters rails appear to be functional and secure.



COMMENTS: The handrails appear to be functional and secure.

2. Stairs

Observations:

- COMMENTS: The stairs appeared to be in satisfactory condition.

Stairs and Landings (continued)



COMMENTS: The stairs appeared to be in satisfactory condition.



COMMENTS: The stairs appeared to be in satisfactory condition.

Cabinet and Pantry

1. Cabinetry

Observations:

- **COMMENTS:** The cabinetry is functional but may have minor wear that is commensurate with its age.



COMMENTS: The cabinetry is functional but may have minor wear that is commensurate with its age.



COMMENTS: The cabinetry is functional but may have minor wear that is commensurate with its age.



COMMENTS: The cabinetry is functional but may have minor wear that is commensurate with its age.



COMMENTS: The cabinetry is functional but may have minor wear that is commensurate with its age.

Counters and Islands

1. Counters

Observations:

- COMMENTS: The kitchen counter tops are functional but may have minor wear that is commensurate with their age.
- COMMENTS: The bathroom vanity tops are functional but may have minor wear that is commensurate with their age.



COMMENTS: The bathroom vanity tops are functional but may have minor wear that is commensurate with their age.



COMMENTS: The kitchen counter tops are functional but may have minor wear that is commensurate with their age.



COMMENTS: The bathroom vanity tops are functional but may have minor wear that is commensurate with their age.



COMMENTS: The bathroom vanity tops are functional but may have minor wear that is commensurate with their age.

Built-In Appliances

1. Dishwasher

Observations:

- COMMENTS: The dishwasher responded to normal user controls and progresses through all of its cycles in the 'normal' mode.



COMMENTS: The dishwasher responded to normal user controls.

2. Garbage Disposal

Observations:

- COMMENTS: The garbage disposal responded to normal user controls.



COMMENTS: The garbage disposal responded to normal user controls.

3. Gas Range

Observations:

- COMMENTS: The gas range (includes the stove burners, oven components, and primary controls) responded to normal user controls.

Built-In Appliances (continued)



COMMENTS: The gas range (includes the stove burners, oven components, and primary controls) responded to normal user controls.

4. Vent Hood

Observations:

- COMMENTS: The built-in vent hood responded to normal user controls.



COMMENTS: The built-in vent hood responded to normal user controls.

5. Microwave

Observations:

- COMMENTS: The built-in microwave oven responded to normal user controls.

Built-In Appliances (continued)



COMMENTS: The built-in microwave oven responded to normal user controls.

Laundry Provisions

1. Laundry Provisions

Observations:

- COMMENTS: The laundry provisions are located in the laundry room off the garage.



COMMENTS: The laundry provisions are located in the laundry room off the garage.

2. Washer Water Supply

Observations:

- COMMENTS: The washer water supply valves were free of leakage but were not turned or tested.



COMMENTS: The washer water supply valves were free of leakage but were not turned or tested.

3. Washer Drainage

Observations:

- COMMENTS: There is a washer drain line present.

Laundry Provisions (continued)



COMMENTS: There is a washer drain line present.

4. Dryer Venting

Observations:

- COMMENTS: Dryer exhaust provisions were satisfactory.



COMMENTS: Dryer exhaust provisions were satisfactory.



COMMENTS: Dryer exhaust provisions were satisfactory.

5. Gas Supply

Observations:

- DEFERRED: The gas line and connector were not visible or accessible for evaluation.

6. Electrical Supply

Observations:

- COMMENTS: A 220-volt outlet was provided.

Laundry Provisions (continued)



COMMENTS: A 220-volt outlet was provided.

Smoke Alarms

1. Placement

Observations:

- COMMENTS: There are smoke detectors in the bedrooms as required by current building and safety codes.
- COMMENTS: There is a smoke detector in the bedroom hallway as required by current building and safety codes.



COMMENTS: There are smoke detectors in the bedrooms as required by current building and safety codes.

Carbon Monoxide Detectors

1. Placement

Observations:

- **COMMENTS:** There is a carbon monoxide detector in the bedroom hallway as required by current building and safety codes.
- **COMMENTS:** There is a carbon monoxide detector at the top of the stairs as required by current building and safety codes.

Ventilation and Exhaust

1. Bathroom

Observations:

- COMMENTS: The bathroom exhaust fans are functional.



COMMENTS: The bathroom exhaust fans are functional.

2. Laundry

Observations:

- COMMENTS: The laundry room exhaust fan is functional.



COMMENTS: The laundry room exhaust fan is functional.

3. Kitchen

Observations:

- COMMENTS: The kitchen exhaust fan vents externally.

Ventilation and Exhaust (continued)



COMMENTS: The kitchen exhaust fan vents externally.

Additional Components

1. Doorbells

Observations:

- DEFERRED: The smart doorbell did not respond and may not be activated. You may wish to verify this with the seller and/or have it evaluated by a qualified technician.

Vehicle Doors

1. Vehicle Doors

Observations:

- **COMMENTS:** The sectional garage vehicle door on the right functioned satisfactorily when tested using the automatic opener.
- **DEFERRED:** The left garage vehicle door could not be tested, as the user controls were not accessible at the time of inspection. Further investigation may be necessary to locate and assess the functionality of the controls.



COMMENTS: The sectional garage vehicle door on the right functioned satisfactorily when tested using the automatic opener.



DEFERRED: The left garage vehicle door could not be tested.

2. Automatic Opener

Observations:

- **COMMENTS:** The automatic garage vehicle door opener and auto reversing feature functioned satisfactorily when tested.



COMMENTS: The automatic garage vehicle door opener and auto reversing feature functioned satisfactorily when tested.

Vehicle Doors (continued)

3. Safety Sensors

Observations:

- COMMENTS: The safety sensors at the garage vehicle door functioned satisfactorily.



COMMENTS: The safety sensors at the garage vehicle door functioned satisfactorily.

4. Springs and Torsion Bars

Observations:

- COMMENTS: The vehicle door spring and torsion bar are functional.



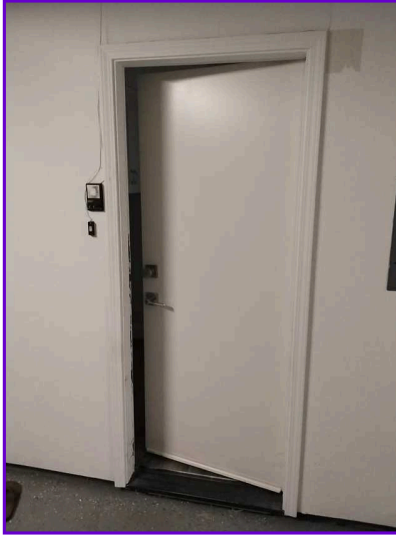
COMMENTS: The vehicle door spring and torsion bar are functional.

Garage Interior

1. Fire Door

Observations:

- **SAFETY:** The entry door from the garage into the house appears to be fire rated but is not self-closing and latching as needed to maintain the necessary firewall separation between the garage and living quarters. This condition poses a potential fire safety hazard and needs to be corrected (easily remedied).



SAFETY: The entry door from the garage into the house appears to be fire rated but is not self-closing.

2. Firewall

Observations:

- **COMMENTS:** Where visible, the firewall in the garage appeared to be in satisfactory condition.



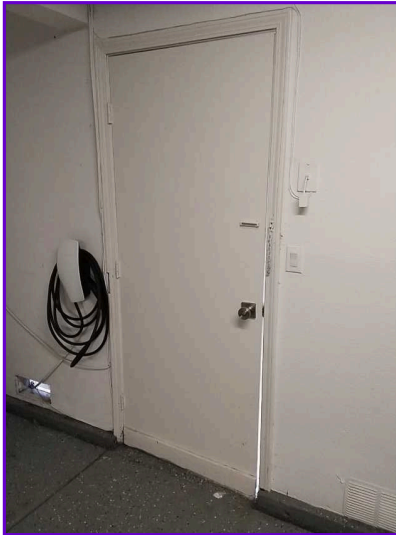
COMMENTS: Where visible, the firewall in the garage appeared to be in satisfactory condition.

3. Doors

Observations:

- **COMMENTS:** The garage side door is functional and appears to be in satisfactory condition.

Garage Interior (continued)

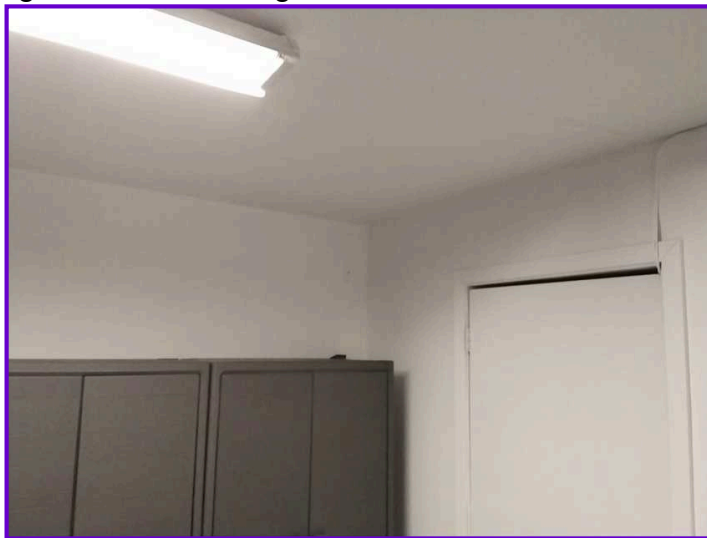


COMMENTS: The garage side door is functional and appears to be in satisfactory condition.

4. Walls and Ceiling

Observations:

- COMMENTS: The ceiling and wall coverings are functional.



COMMENTS: The ceiling and wall coverings are functional.

Garage Foundation

1. Concrete Slab

Observations:

- COMMENTS: Where accessible and exposed to view, we noted no significant abnormalities with the garage concrete slab foundation.



COMMENTS: Where accessible and exposed to view, we noted no significant abnormalities with the garage concrete slab foundation.

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.